



## ADDENDUM NO. - 2

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Date: March 12, 2020

[Last updated 3/12 12:30 pm by MSM]

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Acknowledge receipt of this Addendum by inserting its number and date in bid form. Failure to do so may subject the Bidder to disqualification. This Addendum forms a part of the Contract Documents and modifies them as follows:

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### RE: ITB# 016-20 – The Banks Bid Package #6 – Lot 23 Park, Lot 23/27 Garage Signage & Security

Addendum to the Construction Documents

To all Bidders of record:

**#1 Question:** Will there be exposed concrete at the ramp similar to detail 6/A121? 5/A121 shows existing concrete being exposed, will this need rubbed out since we don't know what condition this will be in?

**Answer:** At the ramp, there will not be any exposed concrete – see revised details in Addendum #2. There will be exposed concrete on the west side of the existing wall in Section 5/A121, but no rubbing of this wall is required.

**#2 Question:** Is there a footer for the wall shown on 6/A121? How tall is this wall or how far below grade does this wall need to extend?

**Answer:** Yes, a footing will be required. Refer to attached revisions for sheet A121 for dimensions and footing information.

**#3 Question:** On L301 inside the granite pavers there is 50 Lir Spi. There is no symbol for Lir Spi. Please specify what plan and what size this is.

**Answer:** Liriope Spicata has been added to the plant schedule and the size / container requirements have been provided. Please reference the clouded item on Sheet L301. Please note that 50 ea LIR SPI shall be provided for each tree pit depicted on the previously provided Landscape Plan sheet L300, for a total of 14 tree pit areas.

**#4 Question:** What is the spacing of the dowels that are in the concrete for the slot drains similar to detail 13/A113 and 18/A113? Are these spaced at 24" OC similar to 1/A112.

**Answer:** Typically the dowel spacing at the slot drains will be 24" oc. The only exception to this will be the slot drain in the deep tree pits (Detail 18/A113). At this location, there will be #4x2'-6" dowels each end of the curb. Refer to the updated detail in Addendum #2.

**#5 Question:** Is the 5" concrete slab on the North side of the turf area shown on details 3, 6, 8, 11/A112 to be included in TC-09 or TC-10?

**Answer:** All concrete located below a substrate such as Granite or required to install Park related scope to be in TC-09. Topping slabs that are exposed/to be a walkable surface to be included in TC-10.

**#6 Question:** Is there an underdrain pipe system under the artificial turf lawn area? If so, how does this system interact with the proposed slot drain at the edge of the artificial lawn and granite paving.

**Answer:** No, there is not a dedicated underdrain pipe system for the artificial (sports) turf lawn area. There will be subsurface drains installed in the structure as part of Bid Package #5 within the sports turf area to drain its gravel base. These drain locations are shown on drawing A102B. The slot drains will outlet periodically, and drainage from that outlet will be routed to some of these subsurface drains. Refer to P102BP and P002BP.

**#7 Question:** Should we assume that the #2 base stone depth varies and that we should hold a constant 6" depth for the 57's and 9's?

**Answer:** The #57 aggregate base will be a constant depth of 6". The #9 aggregate leveling course will be a maximum thickness of 1 ½". The #2 aggregate base will vary. Refer to detail 1/L400.

**#8 Question:** Is the inclusion goal only limited to SBE, or will SBE/DBE/MBE/WBE company's count towards the total goal as well?

**Answer:** Only City SBE and Banks SBE will count towards the 30% SBE goal. We track MBE and WBE participation.

**#9 Question:** I am confused by the architects response to Question #10 from the Addendum #1 responses. They have stated that the North Elm Street Stairs **are part of BP #6**, but the South Elm Street Stairs were part of BP #5. However, none of the railing shown on Sheet C400 appears in the Railing Key Plan per Detail 5 Sheet A114 so I'm unsure what is needed. Please clarify the intent for the guardrail at the North Elm St. Stair & adjacent exterior upper and lower patios at the Music Venue per sheet C400.

**Answer:** The railings for the North Elm St. Stair are part of BP #6 and are shown on Music Venue Dwgs. C200 & C400. Music Venue Dwg. C400 shows the railings in BP #6 that are located on Lot 27. The Keyplan on Dwg. A114 shows railings in BP#6 that are located on Lot 23. The railings on the South Elm St. Stair itself are not part of BP #6 (although the section of plaza railing along the north side of the South Elm St. Stair is part of BP #6 – see Dwg. C400). See the revised Dwg. C400 in Addendum #2 also.

**#10 Question:** Can you clarify if the Exterior "Y" Shaped Double Arm SS Assist Rail at the center of the upper & lower Race Street Stairs is to have LED lighting in it? I am not seeing the LED lighting noted in Detail 4 Sheet A114 in the revised drawing per Addendum #1. This is something we discussed as a group while touring the site after Thursday's pre-bid meeting. The existing railing on site has LED lighting within the handrail. We were told to match the existing railing by the architects during our site visit, but this detail does not appear in the drawings or specs. Railing with LED lighting will be more expensive than railing without.

**Answer:** The handrails will have LED lighting in them. Refer to electrical drawings and revisions to sheets A250, A270, and A114.

**#11 Question:** Is the guardrail on Stair #23 apart of Section 057000 - Ornamental Metals? Its called out as Stainless Steel Guardrail in the notes, but Section 055000 specifies only non-stainless steel guardrails and handrails. Please clarify. We would like to include this item with our pricing for Section 057000.

**Answer:** All Stainless Steel Railings and Guardrails are in Section 057000. The note has been changed as part of Addendum #2 to reflect this. However, the reference to "Stair #23" was confusing; we are not aware of a stair named "Stair #23". Note that the railing and guardrail for Stair #1 (from the 489 Level up to the 503 Level) as shown on Dwgs. A250, A251, etc is not part of BP #5 (it is part of BP #5).

----- End of Addenda -----

The Banks – Phase 3B  
Public Infrastructure Development – Phase 3B – Lot 23/27 Garage & Race St. Turnaround  
Bid Package #6 – Lot 23 Park, Lot 23/27 garage Signage and Security  
March 12, 2020  
THP #98090.38

## **ADDENDUM #2**

### GENERAL

1. This Addendum shall supersede all previously issued Contract Documents wherein it modifies same. All other conditions remain unchanged. The following changes, additions, or deletions as set forth herein shall apply to the above documents and shall be made part thereof and shall be subject to all the requirements thereof as though originally shown and / or specified.
2. After receipt of bids and prior to execution of Agreement, Project Manual and Drawings will be revised and re-issued to incorporate modifications made by Addenda.
3. Acknowledge receipt of this Addendum on Bid Proposal.

### PROJECT MANUAL:

1. Messer BP6 TC09 & TC10 Estimate
2. Section 001000.4 - Bid Form: (Document Reissued)
  - Revised bid form to match allowances
3. Section 011100 - Summary of Work: (Document Reissued)
  - Revised scope of work descriptions
4. Section 012100 - Allowances: (Document Reissued)
  - Revised Allowances to match bid form
5. Section 012200 – Unit Prices: (Document Reissued)
  - Revised Unit Prices
6. Section 321813 – Synthetic Turf Surface: (Section Reissued)
  - Clarification. Monofilament fiber is to part of base bid. Paragraph 2.2.C to now read “Synthetic Turf: Monofilament”
  - Revision. Paragraph 2.2.C.1 to now read “Tufted, monofilament polyethylene grass-like material, coated with a urethane secondary backing. The fibers shall be tufted to a finished pile height of not less than 1.50”. Tufting gauge shall be no greater than 0.75”.
  - Clarification. Thatch layer is to part of base bid. Paragraph 2.2.D to now read “Synthetic Turf: PE or Nylon thatch layer”

## DRAWINGS:

### 7. Drawing A111: (Drawing Reissued)

- Spot elevations added/updated
- Added information about upper basin wall modification

### 8. Drawing A112: (Drawing Reissued)

- Minor updates to reinforcing and existing structure geometry

### 9. Drawing A113: (Drawing Reissued)

- Curb reinforcing on Detail 18 changed
- Additional information at railing condition on Detail 20 provided
- Added future seat wall conditions

### 10. Drawing A115: (Drawing Reissued)

- Additional information provided for bollard (Detail 7)
- Detail 8 moved to sheet A271
- Detail 9 moved to sheet A293

### 11. Drawing A116: (Drawing Reissued)

- Update elevation marks on Elevation 1/A116.
- Revise Details 2 & 3/A116.

### 12. Drawing A117: (Drawing Reissued)

- Update to donor wall modification elevation
- Update to donor wall modification details
- Reinforcing information added

### 13. Drawing A120: (Drawing Reissued)

- Revise Existing Conditions/Demolition Plan.
- Revise Lower Level Enlarged Plans
- Revise Drawing Note 10.
- Add Drawing Notes 11 through 14.

### 14. Drawing A121: (Drawing Reissued)

- Revise Details per clouded areas.

15. Drawing A250: (Drawing Reissued)

- Update Drawing Notes 33 through 35.
- Add Drawing Notes 36 and 37.
- Add Section cut 12/A253 and revise Roof and Reflected Ceiling Plan.

16. Drawing A251: (Drawing Reissued)

- Add Drawing Notes 36 and 37.
- Extend Headhouse above roof per clouded areas.

17. Drawing A252: (Drawing Reissued)

- Add Drawing Notes 36 and 37.
- Extend Headhouse above roof per clouded areas.

18. Drawing A253: (Drawing Reissued)

- Revise Detail 7A/A253.
- Revise Detail 12/A253.

19. Drawing A270: (Drawing Reissued)

- Added additional information to stair handrail.
- Updated stair wall coping profile.

20. Drawing A271: (Drawing Reissued)

- Added Detail 7 (moved from sheet A115) with updated wall coping and rail information.

21. Drawing A290: (Drawing Reissued)

- Added additional information to stair handrail.

22. Drawing A292: (Drawing Reissued)

- Updated wall coping profile.

23. Drawing A293: (Drawing Reissued)

- Added Detail 7 (moved from sheet A115) with updated wall coping and rail information.

24. Drawing L301: (Drawing Reissued)

- Added "Liriope Spicata" to plant schedule and indicated size requirements.

25. Drawing P002BP – SCHEDULES DETAILS AND NOTES

- Added slot drain SD2
- Added pipe sleeve schedule

26. Drawing P101BP – LOWER LEVEL PLUMBING PLAN (LOT 23)

- Revised pipe routing on east and west sides of the plan.
- Added plan notes.

27. Drawing P102BP – UPPER LEVEL PARK PLAN (LOT 23)

- Added/Revised slot drain locations, types.
- Removed piping (now shown on P101BP)
- Added plan notes.

28. Drawing P103BP (Drawing Reissued)

- Removed piping (now shown on P102BP)

29. Drawing E202 (Clarification)

- Provide an additional relay panel to serve lawn PL2/PL5 luminaire due to 0-10V voltage drop. Connect LCPA1 relay panel to this new relay panel for control of lighting on lawn. Location of this additional relay panel shall be placed in elevator equipment room 202. Coordinate exact location with Architect prior to rough in and provide accordingly.

30. Drawing SW102B: (Drawing Reissued)

- Update Drawing Notes: 1, 4, 11, 13, 17, and 23.
- Updated legend hex note references and added drain graphics.
- Removed concrete slab drainage contours for clarity.
- Hex note corrections and updated. All locations clouded.

31. Drawing SW103B: (Drawing Reissued)

- Update Drawing Notes: 1, 4, 11, 13, 17, and 23.
- Updated legend hex note references.
- Hex note corrections and updated. All locations clouded.

32. Drawing SW201: (Drawing Reissued)

- Update Drawing Notes: 1, 4, 11, 13, 17, and 23.
- Updated legend hex note references.
- Hex note corrections and updates. All locations clouded.

33. Drawing SW202: (Drawing Reissued)

- Update Drawing Notes: 1, 4, 11, 13, 17, and 23.
- Updated legend hex note references.
- Hex note corrections and updates. All locations clouded.

34. Drawing SW203: (Drawing Reissued)

- Update Drawing Notes: 1, 4, 11, 13, 17, and 23.
- Updated legend hex note references.
- Hex note corrections and updates. All locations clouded.

35. Drawing SW301: (Drawing Reissued)

- Detail 2 – Deleted, updated to “Not Used”.

36. Drawing SW302: (Drawing Reissued)

- Detail 13 - Updated to reference. Flashing piece (hex note #6) may be used in future, but not currently included in project.
- Detail 15 – Deleted, updated to “Not Used”.
- Detail 16 – Updated pipe identification and hex note locations.
- Detail 17 – Updated to reference. Vertical transition to Expansion Joint Type 3 currently not included in project.
- Detail 18 – Updated hex note #7.
- Detail 19 – Updated hex notes #5 and #7.
- Detail 24 – Replaced detail.

37. Drawing SW303: (Drawing Reissued)

- Detail 27 – Updated hex note #7.
- Detail 30 – Added hex notes to image and provided notes.
- Detail 31 - Added hex notes to image and provided notes.
- Detail 32 - Added hex notes to image and provided notes.
- Detail 36 – Added new anchor repair to detail.

38. Drawing A504: (Drawing Reissued)

- Revise drawing per clouded areas on drawing.

39. Drawing C400: (Drawing Reissued)

- Revise drawing per clouded areas on drawing.

40. Drawing C500: (Drawing Reissued)

- Revise drawing per clouded areas on drawing.

ATTACHMENTS:

1. Messer Estimate.
2. Section: 001000.4.
3. Section: 011100.
4. Section: 012100.
5. Section: 012200.
6. Section: 321813.
7. Sheet: A111.
8. Sheet: A112.
9. Sheet: A113.
10. Sheet: A115.
11. Sheet: A116.
12. Sheet: A117.
13. Sheet: A120.
14. Sheet: A121.
15. Sheet: A250.
16. Sheet: A251.
17. Sheet: A252.
18. Sheet: A253.
19. Sheet: A270.
20. Sheet: A271.
21. Sheet: A290.
22. Sheet: A292.
23. Sheet: A293.
24. Sheet: L301.
25. Sheet P002BP
26. Sheet P101BP
27. Sheet P102BP
28. Sheet P103BP
29. Sheet: SW102B.
30. Sheet: SW103B.
31. Sheet: SW201.
32. Sheet: SW202.
33. Sheet: SW203.
34. Sheet: SW301.
35. Sheet: SW302.
36. Sheet: SW303.
37. Sheet: A504.
38. Sheet: C400.
39. Sheet: C500.

End

| Bid Pack | Trade Cat | MF12 Lvl 1 | Description  | Takeoff Quantity | Total Cost/Unit | Total Amount     |
|----------|-----------|------------|--|------------------|-----------------|------------------|
| BP06     |           |            | <b>Lot 23 - VMS, Signage, Supported Slab Waterproofing, Demo of existing loading dock wall, Topping Slabs</b>      |                  |                 |                  |
|          | TC09      |            | <b>Bid Package 06: TC09 - Lot 23 - Park</b>  |                  |                 |                  |
|          |           | 03         | CONCRETE   |                  | /GSF            | 51,100           |
|          |           | 04         | MASONRY  |                  | /GSF            | 2,933,939        |
|          |           | 05         | METALS   |                  | /GSF            | 721,800          |
|          |           | 06         | WOOD, PLASTICS AND COMPOSITES  |                  | /GSF            | 7,500            |
|          |           | 07         | THERMAL AND MOISTURE PROTECTION  |                  | /GSF            | 30,000           |
|          |           | 09         | FINISHES   |                  | /GSF            | 27,000           |
|          |           | 10         | SPECIALTIES  |                  | /GSF            | 30,600           |
|          |           | 12         | SITE FURNISHINGS   |                  | /GSF            | 112,800          |
|          |           | 22         | PLUMBING   |                  | /GSF            | 192,753          |
|          |           | 32         | EXTERIOR IMPROVEMENTS  |                  | /GSF            | 1,024,984        |
|          |           | 33         | UTILITIES  |                  | /GSF            | 1,032,245        |
|          |           | 90         | ALLOWANCE  |                  |                 | 550,000          |
|          |           | 99         | GENERAL CONDITIONS   |                  | /GSF            | 312,000          |
|          |           |            | <b>TC09 Bid Package 06: TC09 - Lot 23 - Park</b>   |                  |                 | <b>7,026,721</b> |
|          | TC10      |            | <b>Bid Package 06: TC10 - General Trades, Security, and Signage - Public Parties</b>                               |                  |                 |                  |
|          |           | 05         | METALS   |                  | /GSF            | 77,500           |
|          |           | 07         | THERMAL AND MOISTURE PROTECTION  |                  | /GSF            | 1,682,567        |
|          |           | 10         | SPECIALTIES  |                  | /GSF            | 110,000          |
|          |           | 26         | ELECTRICAL   |                  | /GSF            | 158,890          |
|          |           | 32         | EXTERIOR IMPROVEMENTS  |                  | /GSF            | 328,611          |
|          |           | 90         | ALLOWANCE  |                  |                 | 300,000          |
|          |           |            | <b>TC10 Bid Package 06: TC10 - General Trades, Security, and Signage - Public Parties</b>                          |                  |                 | <b>2,657,568</b> |
|          |           |            | <b>BP06 Lot 23 - VMS, Signage, Supported Slab Waterproofing, Demo of existing loading dock wall, Topping Slabs</b> |                  |                 | <b>9,684,288</b> |

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## BID FORM

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### **ACKNOWLEDGMENT OF BIDDER:**

Submitted by: \_\_\_\_\_  
(enter company name here)

TO: The Board of County Commissioners, Hamilton County, Ohio  
Hamilton County Purchasing Department  
Room 507, County Administration Building  
138 East Court Street  
Cincinnati, Ohio 45202

We, the undersigned, having visited the site, carefully studied the local conditions affecting the cost of the work, and having thoroughly examined the Bidding Documents, consisting of the Instructions to Bidders, this Proposal Form, Bonding Requirements, Contract Form, General and Supplementary Conditions, Technical Specifications, Drawings, and Addenda for the Project titled:

The Banks - Phase 3B  
Public Infrastructure Development – Parking Garage and Streetgrid  
**Bid Package #6 –Lot 23 Park, Lot 23/27 Garage Signage &  
Security**  
TC-09 Lot 23 Park  
TC-10 Lot 23/27 Garage Signage and Security

prepared by THP Limited, Inc., 100 East Eighth Street, Cincinnati, Ohio 45202, for the Board of County Commissioners, Hamilton County, Ohio, and the City of Cincinnati, Ohio solely with respect to the Lot 23 park (collectively, the “Owner”), do hereby propose to perform all work required to be performed, and to provide and furnish equipment, transportation services, and temporary installations necessary to perform and complete, in a workmanlike manner, such items of work hereinafter designated by and for the sum of money set forth for said items.

### **ACKNOWLEDGMENT OF ADDENDA:**

The undersigned acknowledges receipt of the following Addenda to the Contract documents (indicate Addendum Number and Issue Date):

|                   |             |                |
|-------------------|-------------|----------------|
| Addendum No. ____ | Date: _____ | Page(s): _____ |
| Addendum No. ____ | Date: _____ | Page(s): _____ |
| Addendum No. ____ | Date: _____ | Page(s): _____ |
| Addendum No. ____ | Date: _____ | Page(s): _____ |
| Addendum No. ____ | Date: _____ | Page(s): _____ |
| Addendum No. ____ | Date: _____ | Page(s): _____ |

**A. BIDDER AGREEMENTS:**

The undersigned Bidder Agrees:

1. To accept the provisions of these Instruction to Bidders, General Conditions, Supplementary Conditions and Division 1 of the Specifications.
2. To provide and include a Bid Guaranty and Contract Bond as dictated in the Legal Advertisement.
3. That the amounts stated in this Proposal Form represents the entire cost of the work. The completion time stated represents the entire time for performance of the work. The amount bid includes allowances for all fees for permits, taxes and insurance required or applicable to the work. That no claims will be made for any increases in wage scales or material costs.
4. To certify that this bid is genuine not sham or collusive or made in the interest or in behalf of any person not herein named, and that the undersigned has not directly or indirectly induced or solicited any other bidder to put in a sham bid, or any other person, firm or corporation to refrain from bidding and that the undersigned bidder has not in any manner sought by collusion to secure for himself and advantage over any other bidder.
5. And certifies that (we) (he) (they) (has) (have not) previously performed work subject to the President's Executive Order No. 11246.
6. That this bidder will comply with all City, State, and Federal Statutes relating to Liability Insurance, Working Hours, Minimum Wages, Safety and Sanitary Regulations, which in any way may affect those engaged or employed on the work in the event that the award of the Contract is made on the Proposal herein submitted.
7. That the bidder will comply with any new laws or acts regulating public buying procedures.
8. Refer to additional instructions for bidder registration process (See Article 9 in Supplementary Instructions to Bidders).

**BID FORM STIPULATIONS:**

1. The wording of this proposal shall be used throughout, without damage, alteration or addition. Any change in wording may cause it to be rejected.
2. Include all required forms.
3. Bid amounts shall be provided in both words and figures. The worded amount shall govern in the case of discrepancies or in cases of error in extending the total amount of the bid, the unit price may govern.
4. In the event that qualified bidders submit equal bids (to the penny) and are deemed the lowest and best bidders for that trade's bid, those bidders agree to let the award of the contract to the bidder to be selected by the current "tied bid" procedures used by the Hamilton County Purchasing Department.

5. The Owner reserves the right to reject any or all bids and, unless otherwise specified by the bidder, to accept any item in the bid.

**C. ALLOWANCES:**

The Owner may after the bids are opened add an allowance to the contract at its own discretion. This allowance shall be added to the contract and so denoted in the contract in section 7.6. Any allowances added by the Owner shall be for incidentals associated with this project. If unused, during the project all allowance monies shall be returned to the Owner at the end of the project or at the request of the Owner.

A. General:

1. Work related to cash allowances will be performed on a time and material basis. The Contractor shall furnish and certify daily detail records of all labor and materials provided.
2. If the cost to complete the work is less than the cash allowance, a deduct Change Order will be prepared by the County for the cost difference.

B. Cash Allowance Items:

1. Trade Contract TC-09 Cash Allowance No. 1: \$550,000
2. Trade Contract TC-10 Cash Allowance No. 2: \$300,000

**D. AWARDING:**

The selection process includes but is not limited to:

1. The results of the evaluation where Owner selects a bidder(s) who it determines to be the Lowest and Best Bidder(s) meeting all required specifications.
2. The Lowest and Best determination shall be based on the Base Bid or Combination Bid first then any accepted Alternates. Accepted Alternates must not exceed the published estimate by 10% or the current Ohio Revised Code stipulation for public bidding.
3. A Base Bid must be submitted prior to bidding any Alternate bids. If a bidder does not bid all of the alternates, unit prices or options the Owner may still consider the proposal and judge it equally to determine which proposal is Lowest and Best and in the best interest of the Owner.
4. Substitutions not approved prior to the bid opening cannot be used in the determination of the Lowest and Best bid determination.
5. If Owner and the bidder are unable to successfully come to terms regarding the bid and the subsequent contract, Owner reserves the right to terminate contract discussions with the bidder(s) and select the next apparent low bidder.

Owner reserves the right to:

1. Reject any or all bids.
2. Waive any informality in the bids.
3. Eliminate conditions or terms that are not in the best interest of the Owner and its residents.



*listed above.*

Base Bid Material: \$ \_\_\_\_\_ (in numbers)

Base Bid Labor: \$ \_\_\_\_\_ (in numbers)

Base Bid Allowance: \$ 300,000 (in numbers)

|  |                                  |
|--|----------------------------------|
| <b>COMBINATION BID – TC-09 Lot 23 Park;<br/>TC-10 Lot 23/27 General Trades</b>   |                                  |
| <b>TOTAL COST</b>  | <b>LUMP SUM</b>                  |
| Includes Cash Allowance No. 1 of \$550,000 and<br>Cash Allowance No. 2 of \$300,000 (\$Total Case Allowance - \$850,000) | \$ _____                         |
| <i>(enter amount in words)</i>   | <i>(enter amount in numbers)</i> |

*For reference only provide a breakdown of the total prices listed in the Combination Bid. This breakdown is solely a reference tool to be used by the Owner and shall not enter into the determination of the winning bidder for this project. The summation of the lines below should equal your total price listed above.*

TC-09 Combination Bid Material: \$ \_\_\_\_\_ (in numbers)

TC-09 Combination Bid Labor: \$ \_\_\_\_\_ (in numbers)

TC-09 Combination Bid Allowance: \$ 550,000 (in numbers)

TC-10 Combination Bid Material: \$ \_\_\_\_\_ (in numbers)

TC-10 Combination Bid Labor: \$ \_\_\_\_\_ (in numbers)

TC-10 Combination Bid Allowance: \$ 300,000 (in numbers)

**G. ALTERNATES: None**

**H. UNIT PRICING:**

A. General:

1. Unit Price shall be used for adjusting the cost of work added to or deducted from the Base Bid Work defined in the Specifications and Drawings.

- a. The Contractor shall furnish and certify daily detail records of all labor and materials provided.
- b. Unit Prices shall be inclusive of all costs for overhead, profit, fees, taxes (where applicable), handling, and installation for completed in-place work.
- c. Unit Prices for TC-09 and TC-10-Labor Rates shall be as set forth in Section 012200-Unit Prices, Paragraph 1.3.A.3.

B. Trade Contact TC-09 Unit Price UP-01 (A single Add/Deduct Concrete Per Cubic Yard including Reinforcing)

\_\_\_\_\_ Per Cubic Yard DOLLARS (\$\_\_\_\_\_)

C. Trade Contact TC-09 Unit Price UP-03 (A single Add/Deduct price per Square Foot for Granite Pavers installed {2" and 3"})

\_\_\_\_\_ Per Square Foot DOLLARS (\$\_\_\_\_\_)

D. Trade Contact TC-09 Unit Price UP-04 (A single Add/Deduct price per Linear Foot for stainless steel typical park rail.

\_\_\_\_\_ Per Linear Foot DOLLARS (\$\_\_\_\_\_)

**I. Completion Dates:**

It is understood and agreed that all Work to be performed under Contract TC-09 and TC-10 shall be completed in the timeframe as specified in Section 013216 following date set forth in Notice to Proceed with Work unless an extension of time is granted by the Owner in accordance with Contract Documents.

Bidder's Name: \_\_\_\_\_

All Prime Contractors hereby acknowledge and accept all responsibilities assigned to them by the General Conditions, Supplementary General Conditions, and Division One. All fees for supervision and coordination are included in the bids.

Bids submitted by virtue of this Proposal hereby are acknowledged by the Owner to be made under the conditions that the Bidder will not be prevented, on account of strikes or other disruptions affecting source of supply, from obtaining materials necessary to carry out his contract to complete the construction covered thereby.

It is understood and agreed by the undersigned that the Owner reserves the right to reject any and all bids.

It is agreed that this Proposal shall be irrevocable for a period of Sixty (60) days after receipt of same by the Owner at the Day and Place set forth in the "Legal Advertisement".

[ ] We have read and agree to the terms listed above.  
(check here)

Firm Name: \_\_\_\_\_

( ) Corporation ( ) Partnership ( ) Sole Proprietorship (check one)

Authorized Offeror (print name): \_\_\_\_\_

Authorized Signature (sign name): \_\_\_\_\_

Title: \_\_\_\_\_

Official Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

E-mail Address: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

4838-2617-6438v2

THE BANKS  
PUBLIC INFRASTRUCTURE DEVELOPMENT  
PHASE 3B LOT 23/27 GARAGE & RACE STREET TURNAROUND  
BID PACKAGE NO. 6: LOT 23 PARK, LOT 23/27 GARAGE SIGNAGE & SECURITY  
FEBRUARY 21, 2020

## **Instructions to Bidders**

**AIA Document A701 – 1997  
1997 Edition – Electronic Format**

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**This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification. AUTHENTICATION OF THIS ELECTRONICALLY DRAFTED AIA DOCUMENT MAY BE MADE BY USING AIA DOCUMENT D401.**

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### **TABLE OF ARTICLES**

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## **AMENDED AND MODIFIED FORM OF INSTRUCTIONS TO BIDDERS**

**Revised Form Indicates  
Changes From Standard  
AIA Document A701 – 1997  
(As Amended and Modified)**

## INSTRUCTIONS TO BIDDERS

### ARTICLE I DEFINITIONS

1.1 Bidding Documents include the Bidding Requirements and the Contract Documents. The Bidding Requirements consist of the Advertisement or Invitation to Bid, Instructions to Bidder, the bid form and other sample bidding and contract forms. The Contract Documents consist of the form of agreement between the Owner and Contractor specified in Paragraph 8.1 hereof, the General Conditions, the Drawings and Specifications, and all amendments, modifications and addenda to any of the foregoing. If any of these rules, regulations and Specifications conflict with each other or any clauses of this Contract, ODOT required Contract Provisions for Federal Aid Projects shall govern.

1.2 Definitions set forth in the General Conditions and in other Contract Documents are applicable to the Bidding Documents.

1.3 As used herein, "Addendum" or "Addenda" are written or graphic instruments issued by the Architect or Construction Manager prior to the execution of the Contract which modify or interpret the Bidding Documents by additions, deletions, clarifications or corrections.

1.4 A Bid is a complete and properly executed proposal to do the Work for the sums stipulated therein, submitted in accordance with the Bidding Documents. The word "proposal" is used interchangeably with the word "bid".

1.5 The Base Bid is the sum stated in the Bid for which the Bidder offers to perform the Work described in the Bidding Documents as the base, to which Work may be added or from which Work may be deleted for sums stated in Alternate Bids.

1.6 An Alternate Bid (or Alternate) is an amount stated in the Bid to be added to or deducted from the amount of the Base Bid if the corresponding change in the Work, as described in the Bidding Documents, is accepted.

1.7 A Unit Price is an amount stated in the Bid as a price per unit of measurement for materials, equipment or services or a portion of the Work as described in the Bidding Documents.

1.8 A Bidder is a person or entity who submits a Bid and who meets the requirements set forth in the Bidding Documents.

1.9 A Sub-bidder is a person or entity who submits a bid to a Bidder for materials, equipment or labor for a portion of the Work.

1.10 The term "Median Bid" shall be interpreted as the Bid where an equal number of all other Bids are higher and lower than said Bid. In the event of an even number of Bids, the "Median Bid" shall be the average of the two Bids where an equal number of all other Bids are higher and lower than the two said Bids.

### ARTICLE 2 BIDDER'S REPRESENTATIONS

2.1 The Bidder, by making a Bid, represents that:

2.1.1 The Bidder has read and understands the Bidding Documents and the Contract Documents, to the extent that such documentation relates to the Work for which the Bid is submitted, and for other portions of the Project, if any, being bid concurrently or presently under construction.

2.1.2 The Bid is made in compliance with the Bidding Documents.

2.1.3 The Bidder has visited the site, become familiar with local conditions under which the Work is to be performed and has correlated the Bidder's personal observations with the requirements of the proposed Contract Documents.

2.1.3.1 A pre-bid meeting will be held as noted in the Advertisement for Bids. All Bidders are strongly urged to attend the pre-bid meeting, but attendance is not a mandatory prerequisite to bidding. However all Bidders are required to visit the Site prior to Bid date to thoroughly familiarize themselves with existing conditions affecting the Work.

2.1.4 The Bid is based upon the materials, equipment and systems required by the Bidding Documents without exception.

## **2.2 BID PREPARATION COST**

2.2.1 Any and all cost associated with the preparation and submittal of the bid shall be the sole responsibility of the Bidder. The Bidder must certify that the bid and pricing will remain in effect for the duration specified. All materials submitted in response to the ITB will become the property of Owner and may be returned only at Owner's option and at the Bidder's expense.

## **ARTICLE 3 BIDDING DOCUMENTS**

### **3.1 COPIES**

3.1.1 Refer to the Advertisement for Bids for procedure for procurement of Bidding Documents.

3.1.2 Bidding Documents will be issued to anyone registering their interest in the process. Sub-bidders may register with the Owner.

3.1.3 Bidder shall use complete sets of Bidding Documents in preparing Bids; neither the Construction Manager, the Owner nor the Architect assumes responsibility for errors or misinterpretations resulting from the use of incomplete sets of Bidding Documents.

3.1.4 The Construction Manager, Owner and/or Architect may distribute copies of the Bidding Documents on the terms set forth in this Section 3.1 for the purpose of obtaining Bids on the Work. No license or right of use is conferred by such issuance of copies of the Bidding Documents.

### **3.2 INTERPRETATION OR CORRECTION OF BIDDING DOCUMENTS**

3.2.1 The Bidder shall carefully study and compare the various Bidding Documents, shall compare the Bidding Documents with other work being bid concurrently or presently under construction, to the extent it relates to the Work for which the Bid is submitted, shall examine the site and local conditions, and shall immediately report to the Construction Manager all errors, inconsistencies or ambiguities discovered.

3.2.2 Bidders and Sub-bidders requiring clarification or interpretation of the Bidding Documents shall submit a written request to the Construction Manager and Owner at least 10 days prior to the date for receipt of Bids.

3.2.3 Interpretations corrections and changes of the Bidding Documents will be made by Addendum. Interpretations, corrections and changes of to Bidding Documents made in any other manner will not be binding, and Bidder shall not be entitled to rely upon them.

### **3.3 SUBSTITUTIONS**

3.3.1 The materials, products and equipment described in the Bidding Documents establish a standard of required function, dimension, appearance and quality to be met by any proposed substitution.

3.3.2 Awards will be based on the lowest and best bids.

3.3.3 No substitutions will be considered after the Contract award unless specifically provided for in the Contract Documents.

#### **3.4 ADDENDA**

3.4.1 Addenda will be transmitted to all parties known by the issuing office to have received a complete set of Bidding Documents.

3.4.2 Copies of Addenda will be made available for inspection wherever Bidding Documents are maintained for inspection purposes.

3.4.3 The bid for which the award is to be made will be opened at the time and place named in the Advertisement for Bids, unless extended by the Owner or its representative or unless, within seventy two hours prior to the published time for the opening of Bids, excluding Saturdays, Sundays, and legal holidays, any modification of the Bidding documents for the Work for which Bids are solicited is issued and mailed or otherwise furnished to persons who have obtained Bidding Documents for the Work, for which the time for opening of Bids shall be extended one week, with no further advertising of Bids required. (Note: Proof of receipt of addendum by bidders shall be "fax" date/time indication if addendum is "faxed", or return receipt if addendum is sent by any other means.)

3.4.4 Each Bidder shall ascertain prior to submitting a Bid that the Bidder has received all Addenda issued, and the Bidder shall acknowledge such receipt in the Bid.

3.4.5 Changes by addenda:

- .1 Addenda will be issued for corrections, revisions and clarifications of Contract Documents prior to bidding.
- .2 Requests for corrections, revisions and clarifications of Contract Documents may be considered by Architect and Construction Manager prior to bid date, and if acceptable to Architect and Construction Manager, may be included in addenda. Bidders are required to submit requests for corrections, revisions and clarifications of Contract Documents to Construction Manager and Owner in writing so as to be received by Construction Manager not less than 10 days prior to bid date to permit Construction Manager and Architect adequate time for consideration of request.

## **ARTICLE 4 BIDDING PROCEDURES**

### **4.1 PREPARATION OF BIDS**

4.1.1 Bids shall be submitted on the forms included with the Bidding Documents.

4.1.2 All applicable blanks on all bid forms shall be legibly executed in a non-erasable print medium.

4.1.3 Sums shall be expressed in both words and figures. In case of discrepancy, the amount written in words shall govern.

4.1.4 Interlineations, alterations and erasures must be initialed by the signer of the Bid.

4.1.5 All requested Alternates shall be bid. If no change in the Base Bid is required, enter "No Change." Failure to bid an Alternate shall be cause for rejection of entire Bid only if said Alternate is accepted by Owner.

4.1.6 Bidders may bid on more than one Bid item. Bidders submitting Bids on several Bid items are requested to submit each separate Bid item in a separate envelope in order to expedite the Bid opening and recording process.

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4.1.7 Each copy of the Bid shall state the legal name of the Bidder, and, if the Bidder is an entity, the type of entity and state of organization of the Bidder. The Bidder shall provide evidence of legal authority to perform work within the jurisdiction of the Work. Each copy of the Bid shall be signed by the person or persons legally authorized to bind the Bidder to a contract. A Bid submitted by an authorized agent shall have a current power of attorney attached certifying the agent's authority to bind the Bidder.

4.1.8 Bidders shall fill in where indicated on Bid Form names of manufacturers on which Bidder's bid was based. Failure to list manufacturer shall be cause for rejection of Bidder's Bid.

#### **4.2 BID SECURITY**

4.2.1 Each Bid shall be accompanied by a bid security in the form and amount required in Article 9.4 herein. The Bidder pledges to enter into a Contract with the Owner on the terms stated in the Bid and will furnish bonds guaranteeing the Bidder's faithful performance of the Contract and payment of all obligations arising thereunder. Should the Bidder refuse to enter into such Contract or fail to furnish such bonds, the amount of the bid security shall be forfeited to the Owner as liquidated damages, not as a penalty.

4.2.2 Form of Bid security shall be as described in Article 9.4.

4.2.3 The Owner will have the right to retain the bid security of Bidders to whom an award is being considered until the later of (a) execution of the Contract and furnishing of satisfactory payment and performance bonds by Bidder, (b) the expiration of the time period permitted for withdrawal of Bids and (c) rejection of all Bids by Owner.

#### **4.3 SUBMISSION OF BIDS**

4.3.1 All copies of the Bid, the bid security and any other documents required to be submitted with the Bid shall be enclosed in a sealed opaque envelope. The envelope shall be addressed to the party receiving the Bids and shall be identified with the Project name, the Bidder's name and address and, if applicable, the designated portion of the Work for which the Bid is submitted. If the Bid is sent by mail, the sealed envelope shall be enclosed in a separate mailing envelope with the notation "SEALED BID ENCLOSED" on the face thereof.

4.3.2 All Bids are to be delivered to the location designated in the Bidding Documents prior to the time and date specified in the Bidding Documents for receipt of Bids. Bids received late will be returned unopened.

4.3.3 The Bidder shall assume full responsibility for timely delivery at the location designated for receipt of Bids.

4.3.4 Oral, telephonic, telegraphic, facsimile or other electronically transmitted Bids will not be considered.

#### **4.4 MODIFICATION OR WITHDRAWAL OF BID**

4.4.1 Except as provided in Article 5.2.1, a Bid may not be modified, withdrawn or canceled by the Bidder at any time after the time and date designated for the receipt of Bids, and each Bidder so agrees in submitting a Bid.

4.4.2 Prior to the time and date designated for receipt of Bids, a Bid submitted may be modified or withdrawn by notice to the party receiving Bids at the place designated for receipt of Bids. Such notice shall be in writing and signed by the Bidder. Each such notice shall be date- and time-stamped by the receiving party when received to acknowledge receipt thereof. Any modification of the Bid shall be worded so as not to reveal the amount of the original Bid.

4.4.3 Withdrawn Bids may be resubmitted up to the date and time designated for the receipt of Bids, provided that they are then fully in conformance with the requirements of the Bid Documents.

4.4.4 Bid security shall be in an amount sufficient for the Bid as resubmitted.

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## **ARTICLE 5 CONSIDERATION OF BIDS**

### **5.1 OPENING OF BIDS**

At the discretion of the Owner, if stipulated in the Advertisement or Invitation to Bid, all Bids which comply with the requirements of the Bidding Documents will be publicly opened and will be read aloud. An abstract of the Bids may be made available to Bidders.

### **5.2 REJECTION OF BIDS**

The Owner shall have the right to reject any or all Bids. A Bid not accompanied by the required bid security or by other data required by the Bidding Documents as determined by the Owner shall be rejected. A Bid which is in any way irregular, but which otherwise conforms to the requirements of the Bidding Documents, is subject to rejection as determined by the Owner.

#### **5.2.1 Errors in Bids:**

- .1 In the event that a Bidder's Bid is substantially lower than the other Bids for the same work, and the Bidder wishes to withdraw its Bid, and the Bid was submitted in good faith, and the reason for the Bid amount being substantially lower was a clerical error as opposed to a judgment error, and was actually due to an unintentional and substantial arithmetic error, or an unintentional omission of a substantial quantity of work, labor or material made directly in the compilation of the Bid, the Bidder shall submit to the Construction Manager and Owner in writing, within two business days (48 business-day hours) after the time of Bid opening stated in the Bidding Documents a written request for consideration of withdrawal of its Bid.
- .2 After due consideration of the bidding error, the Owner may, at his discretion, permit withdrawal of the Bid.

### **5.3 ACCEPTANCE OF BID (AWARD)**

5.3.1 Unless Owner rejects all Bids, Contracts will be awarded as soon as practicable after opening of Bids. In determining lowest and best Bidder, the following elements and factors will be considered by Owner in its sole and absolute discretion, in addition to Bid amount:

- .1 Bidder's performance on publicly funded projects.
- .2 Bidder has adequate equipment and facilities to perform the Work properly and expeditiously.
- .3 Bidder has suitable financial status to meet obligations incident to the Work.
- .4 Bidder's satisfactory compliance with the requirements set forth in the Joint Policy located in Section 008260 of the Project Manual and the Small Business Enterprise (SBE) policy and requirements as set forth in this Project Manual.
- .5 Bidder's satisfactory compliance with the requirements set forth in the Responsible Bidder Requirements Applicable to Public Contracts.
- .6 Bidder has appropriate technical experience in projects of similar scope and conditions.
- .7 Bidder can complete the Work in timely and expeditious manner.
- .8 Bidder's satisfactory compliance with the requirements set forth in Article 7 herein.
- .9 Bidder's satisfactory completion and submission of the Bid Submission Documents outlined in Article 9.2.

Owner reserves unrestricted privilege and absolute discretion to reject any, part of any, or all of Bids received and to waive any informalities in bidding.

5.3.2 The Owner shall have the right to accept Alternates in any order or combination, unless otherwise specifically provided in the Bidding Documents, and to determine the lowest and best Bid on the basis of the sum of the base Bid and Alternates accepted.

- .1 Owner reserves unrestricted privilege to reject any, part of any, or all of bids received and to waive any informalities in bidding.

5.3.3 No Contract will be awarded if the low Bidder for that Contract is more than 15% below the Median Bid (as defined in 1.10 herein) unless, the following procedure is followed:

- .1 Construction Manager and Architect will hold interview with the Bidder to determine what, if anything, has been overlooked in the Bid in question, and to analyze the process envisioned by the Bidder to complete the Contract.
- .2 The financial status of the Bidder and its Surety shall be examined, based upon certified financial statements submitted by each to the Construction Manager.
- .3 Written confirmation by the Surety shall be submitted to the Construction Manager that it has reviewed the Bid in question and finds it to be in compliance with Contract Documents.
- .4 Bidders may be required to furnish satisfactory evidence of their experience and ability to execute work of like character, scope and size to that of the Work.
- .5 The record of the Bidder in performing other publicly funded projects in the past will be considered.
- .6 If after review and consideration, the acceptance of the lowest Bid is not in the best interest of the Owner, as determined by the Owner, in its sole and absolute discretion, may accept another Bid so opened or reject all Bids and advertise for other Bids.

5.3.4 Owner reserves unrestricted privilege to reject any, part of any, or all of bids received and to waive any informalities in bidding.

5.3.5 No Bid nor any obligation hereunder to be assumed by the Owner, shall be considered as accepted until such time as the Owner, or Owner's representative, may deposit in U.S. Mail, or hand to Bidder personally, written notice addressed to Bidder at address given on Bid of acceptance of Bid."

## **ARTICLE 6 POST-BID INFORMATION**

### **6.1 POST-BID/PRE-AWARD MEETING**

6.1.1 Bidder shall be required to attend a post-bid, pre-award meeting with the Owner, Construction Manager, and Architect, as described in Section 9.3.

### **6.2 SUBMITTALS**

6.2.1 The Bidder will be required to establish to the satisfaction of the Owner, Architect and Construction Manager the reliability and responsibility of the persons or entities proposed to furnish and perform the Work described in the Bidding Documents.

6.2.2 Persons and entities proposed by the Bidder and to whom neither the Construction Manager nor the Architect have made reasonable objection must be used on the Work for which they were proposed and shall not be changed except with the written consent of the Construction Manager and Architect.

## **ARTICLE 7 PERFORMANCE BOND AND PAYMENT BOND**

### **7.1 BOND REQUIREMENTS**

7.1.1 The Bidder shall furnish bonds in compliance with Article 9.4 herein, covering the faithful performance of the Contract and payment of all obligations arising thereunder. Bonds may be secured through the Bidder's usual sources.

7.1.2 The cost of Bidder's Bid Guarantee and Contract Bond shall be included in the Bid.

## **ARTICLE 8 FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR**

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8.1 Successful Bidder shall promptly enter into Contract with the Owner. Contract Form shall be "Standard Form of Agreement Between Owner and Contractor," AIA Document A132/CMA, as modified by Owner and included in the Project Manual.

8.2 Owner will issue a Notice to Proceed for each Trade Contract.

## **ARTICLE 9 ADDITIONAL REQUIREMENTS**

9.1 Number of copies of Bid: Each Bidder shall submit an original and four (4) copies of the Bid.

9.2 Required attachments to Bid: The following attachments completed and signed as required shall be submitted with each copy of the Bid (the "Bid Submission Documents"):

- .1 Bid Form.
- .2 Bid Guaranty and Contract Bond or certified check, cashier's check drawn on a solvent bank or irrevocable letter of credit as set forth in Article 9.4 herein.
- .3 For Bid Guaranty and Contract Bond, submit Certificate from the State of Ohio Department of Insurance demonstrating that bonding agent is licensed to do business in the State of Ohio. (Refer to sample form bound into Project Manual.)
- .4 For Bid Guaranty and Contract Bond, submit credentials showing proper power of attorney for the attorney-of-fact of the Surety.
- .5 Non-Collusion Affidavit of Bidder.
- .6 Personal Property Tax Statement.
- .7 Subcontractor and Material Supplier List.
- .8 Warranty Against Unresolved Findings for Recovery.
- .9 Bidder's Certification Concerning Equal Employment Opportunity Requirements.
- .10 Small Business Enterprise Program (SBE) Summary and Bidder's Covenant of Non-Discrimination and SBE Goal Commitment
- .11 Bidder's Responsible Bidder Certification.
- .12 County Registration Form.
- .13 Affidavit in Compliance with Section 3517.13 of the Ohio Revised Code.

9.3 Execution of Contract: Subsequent to and within seven calendar days of pre-award meeting by Construction Manager, the successful Bidders shall return signed Contracts and required submittals to Construction Manager.

### **9.4 Bid Guaranty and Contract Bond**

- .1 Each Bidder shall submit with their bid a Bid Guaranty in the form of either (a) combined Guaranty and Contract Bond, or (2) a certified check, cashier's check drawn on a solvent bank, or an irrevocable letter of credit. If a Bid Guaranty and Contract Bond is submitted with the bid, it shall be for the full amount of the Bidder's base bid, including any alternates. If a certified check, cashier's check or irrevocable letter of credit is submitted, it shall be in the amount of 10% of the bid amount including Base Bid and Alternates. If a certified check, cashier's check or irrevocable letter of credit is submitted, it shall be payable to the Board of County Commissioners of Hamilton County, Ohio, the City of Cincinnati, Ohio, and Messer Construction Company. The Bid Guaranty, in either form, must be in strict compliance with section 153.54 of the Ohio Revised Code, and also Sections 153.57 or 153.571, as applicable. The Board of County Commissioners of Hamilton County, Ohio and the City of Cincinnati, Ohio shall be named as Obligees on the Bid Guaranty and Contract Bond. No other form of bond is acceptable for use as a bid guaranty.
- .2 If the Bid Guaranty and Contract Bond is submitted, the requirements of Section 3905.41 of the Ohio Revised Code may be applicable to require the Bid Guaranty and Contract Bond to be countersigned by an Ohio resident agent. It is the duty of the Bidder to

determine the applicability of Section 3905.41. NONCOMPLIANCE WITH SECTION 3905.41 WILL CAUSE THE BIDDER'S BID TO BE REJECTED. The Board of County Commissioners of Hamilton County, Ohio and the City of Cincinnati, Ohio shall be named as Obligees on the Bid Guaranty and Contract Bond.

- .3 Bid Guaranty and Contract Bond shall be supported by credentials showing the power of attorney for the attorney-of-fact of the bonding agent.
- .4 If the Bid Guaranty and Contract Bond penal sum is left blank by the Bidder, the penal sum of Bid Guaranty and Contract Bond will be the full amount of the Bidder's Base Bid (plus accepted Alternates for Bid Packages that include Alternates). If completed, the penal sum amount shall be not less than the full amount of the Bidder's Bid and all accepted Alternates stated in dollars and cents. A percentage amount in the Bid Guaranty and Contract Bond is NOT acceptable and shall be rejected.
- .5 Bid Guaranties will be returned to all unsuccessful Bidders immediately after Contract is executed.
- .6 The certified check, cashier's check drawn on a solvent bank or irrevocable letter of credit will be returned to the successful Bidder upon filing of the bond required in Division (C), Section 153.54 of the Ohio Revised Code.
- .7 For successful Bidders who have submitted the Bid Guaranty and Contract Bond as bid guaranty, the Contract Bond is the Bid Guaranty and Contract Bond; no other form of Contract Bond is required. For successful Bidders who have submitted a certified check, cashier's check drawn on a solvent bank or irrevocable letter of credit as bid guaranty in compliance with this Article 9.4, the Contract Bond shall be the Contract Bond set forth in Section 006100 of this Project Manual in compliance with Ohio Revised Code Sections 153.54(C) and 153.57. The Contract Bond shall be fully executed and supported by credentials showing the power of attorney for the attorney-of-fact of the bonding agent. Costs of bonds shall be included in all bids.
- .8 **NOTWITHSTANDING ANY OTHER PROVISION HEREIN AND FOR AVOIDANCE OF DOUBT, THE TERM OWNER AS USED HEREIN WITH RESPECT TO THE LOT 23 PARK ONLY, SHALL BE DEFINED AS THE CITY OF CINCINNATI AND HAMILTON COUNTY.**

SECTION 011100  
SUMMARY OF WORK

PART 1 GENERAL

**1.01 GENERAL PROVISIONS OF BID PACKAGE #6 TRADE CONTRACTS**

- A.** The following summary is a description of work for all Contract Descriptions for THE BANKS – PHASE 3B, PUBLIC INFRASTRUCTURE DEVELOPMENT, PARKING GARAGE AND STREETGRID. Work related to the Project is as indicated on the Drawings and Specifications as prepared by THP Limited, Inc. This section describes and assigns work to each Contract as designated by the Construction Manager. Each Contractor shall cooperate and coordinate with all other Contractors for proper and expedient completion of the work in this Project. Each Contract Description identifies the major portions of Scope of Work to be performed by the Bidder in specific Contract Descriptions. This summary should in no way be construed as being all-inclusive. It is issued as a guide to aid in the assignment of work. Refer to the Drawings and Specifications for a detailed accounting of any work not explicitly specified or noted. Each Trade Contract Description lists specification sections included, in whole or in part, in that Contract Description. All work activities not explicitly specified or noted, but required to complete the work included in a Contract Description are a part of the work scope.

PART 2 TRADE CONTRACT DESCRIPTIONS

**2.1 SECTION INCLUDES:**

1. List of Trade Contracts
2. General Provisions of Bid Package #6 Trade Contracts
3. Contract Descriptions

**2.2 LIST OF TRADE CONTRACTS**

1. List of Bid Package #6 Trade Contracts:

|       |                                       |
|-------|---------------------------------------|
| TC-09 | Lot 23 Park                           |
| TC-10 | General Trades, Security, and Signage |

## 2. General Provisions of Bid Package #6 Trade Contracts

- A. Each Contractor shall be responsible for the proper protection of adjacent structures and public rights of way.
- B. Prospective bidders are reminded that all of the contracts described herein contain specific Joint Policy for Small Business Enterprise, Economic Inclusion and Workforce Development for the Banks Project requirements.
- C. Each Trade Contractor shall comply with the Responsible Bidder Requirements specified in section 001000 and herein.
- D. All work is to comply with the rules and regulations of governing authorities having jurisdiction. Work shall be performed by skilled tradesmen having experience in performing the work.
- E. Storage of all materials is limited and must be approved by the Construction Manager. Offsite storage of material may be required. All costs associated with material delivery in small quantities, relocation of materials that impede work progress, and off site material storage must be included in the bid.
- F. A 48-HOUR NOTICE MUST BE GIVEN FOR DELIVERIES. IF NOTICE WAS NOT GIVEN DELIVERIES MAY BE TURNED AWAY. ALL COST ASSOCIATED WITH THIS ACTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DELIVERIES MUST BE COORDINATED & APPROVED BY THE CONSTRUCTION MANAGER. NO PARKING BY EMPLOYEES OR DELIVERY VEHICLES IS PERMITTED ON SITE. STORAGE, TOOL OR OFFICE TRAILERS WILL NOT BE PERMITTED ON SITE WITHOUT THE PRIOR APPROVAL OF, AND IN COORDINATION WITH, THE CONSTRUCTION MANAGER.
- G. Each Contractor is responsible to review the site and be familiar with all existing conditions within and around the building including local conditions and requirements. The impact of the site conditions on the cost of performing the work shall be included in the bid. Contractors shall notify the Construction Manager in writing of any discrepancies or conditions detrimental to proper performance of the Work.
- I. Each Contractor to provide to all other trades information and materials, shop drawings, diagrams, templates, and embedments necessary for the coordination of the Work. It is each Contractor's responsibility to field verify and coordinate all interface with other trades.

- J. Where new work connects with existing, do all necessary cutting and patching required to make a satisfactory connection with the work to be performed under the Contract Documents so as to leave the entire work in a finished and workmanlike condition. This requirement shall include all required work where new items connect, fit, or otherwise interface with existing surfaces. Provide all labor and materials to this end, whether or not shown or specified. Verify and match existing conditions. This shall include full block replacement to nearest construction expansion joint of any concrete pavement removed or damaged.
- K. Each Contractor shall at all times maintain a clean and safe passage to all areas of the site, and for the public around the site.
- L. Each Contractor shall field verify all dimensions, materials and conditions of the existing site.
- M. Initial benchmarks and control lines will be provided by the Construction Manager. Each Contractor is responsible for all detailed layout and grade from the indicated benchmark and control points.
- N. Each Contractor is to coordinate all work with the work of other trades for proper function and sequence to avoid construction delays or additional cost.
- O. Each Contractor is responsible for daily cleanup and disposal of all debris associated with its work activities. This shall include removal of debris from public property and/or roadways caused by work on site or carried outside of the site by vehicles employed by the Contractor. Street cleaning of this debris is expected by each Contractor, as necessary. Debris not removed by the Contractors will be discarded at the delinquent Contractor's expense. All areas of work are to be broom cleaned at the end of each work day. In addition to daily cleanup each Trade Contractor to provide 1 person for every 4 Trade Contractor employee and their subs to a once a week jobsite general cleanup activity. Each Trade Contractor to provide its worker with all the necessary tools and equipment to do cleanup. There will be no tools or equipment provided by the Construction Management organization. Coordination of the weekly cleanup will be the responsibility of the General Trades Contractor. Designated eating areas will be identified by the Construction Manager. These areas will be the only place for workers to eat and drink. Workers found violating this policy maybe directed to leave the jobsite.
- P. Each Contractor shall be restricted to working hours of 7:00am to 4:00pm unless alternate arrangements are approved by the Construction Manager. This does not alleviate the Trade Contractor's responsibility to work overtime as required to maintain the schedule.

- Q. Signs of any type are prohibited, except as specifically assigned by the Contract Documents.
- R. Each Contractor shall be responsible for the protection of its own materials, tools, equipment, and finish work until substantial completion is granted. Damage to or theft of any materials, tools or equipment prior to substantial completion will be repaired or replaced at the Contractor's expense.
- S. Each Contractor shall provide all temporary heat, utilities and protection required for the completion of all work as scheduled, except where specifically provided by others in the Contract Documents.
- T. Each Contractor shall have their superintendent attend all weekly Trade Contractor Meetings (time & location to be scheduled by Construction Manager).
- U. Each Contractor shall secure all permits required by governing authorities for the completion of its own work scope. This includes all Plumbing, HVAC, Traffic or permit that are issued by the City's Department of Transportation and Engineering, street barricade and other special permits. No Permits will be secured by the Construction Manager.
- V. Each Contractor shall submit daily reports and the weekly work plan twenty-four (24) hours before the weekly Trade Contractor meetings. Failure to submit these items each week for the prior week's work will result in rejection of this Contractor's pay request.
- W. Testing shall be performed in accordance with the Contract Documents. Where Owner and Contractor testing are specified, the Contractor shall provide complete testing. The Owner may provide additional testing at its discretion.
- X. Each Contractor is responsible for the complete review of, and coordination with, the Trade Contract Descriptions for other Contractors. Where overlap occurs, include the cost of such work in your bid, and the Construction Manager will decide which Contractor will perform this work. Appropriate credit will be deducted from the other Contractor's Contract.
- Y. Each Contractor must provide a full-time superintendent on site throughout the duration of their work on site. This superintendent shall be authorized to make all decisions relative to the work on site, and shall be the primary contact for all correspondence. Part time or token representatives who are not so authorized will not be permitted. Failure to comply with this requirement will result in rejection of this Contractor's pay request. Any change of superintendent shall be pre-approved by the Construction

Manager.

- Z. Time is of essence on this project. Each Trade Contractor shall phase, construct and complete their work within the requirements included in Specification Section 013216 and the subsequent development of and updating of the Banks Phase 3B – Bid Package 6 Schedule by the Construction Manager.
- AA. Each Contractor shall complete the Resource Utilization and Inclusion Tracking Forms that are included in the Specifications. The forms shall be completed on a monthly basis and submitted with the monthly pay request. Completed resource utilization forms must be submitted with the pay request in order for the pay request to be processed.
- AB. Each Contractor will be required to attend several phasing meetings pertaining to Lean Construction. Contractor shall have the appropriate personnel (more than one) attend the reverse phase scheduling meeting. Each Trade Contractor shall participate in the implementation of the Lean Construction process throughout the duration of the Project.
- AC. Safety hard hats, safety eye protection, High Vis, and Gloves shall be worn by all employees on this job site. This includes all of this Contractor's Subcontractors and Suppliers.
- AD. This Contractor shall comply with all requirements of the Williams-Stiger Occupational Safety and Health Act of 1970 and subsequent amendments thereto. This Contractor shall furnish to the Construction Manager a copy of its Safety Program, including a copy of its Hazardous Material Program, prior to the commencement of work on site. No payment will be made until these documents are received.
- AE. Any barricade or safety device removed by this Contractor's employees shall be immediately re-erected by Contractor. Upon failure to do so, the Construction Manager may direct the re-erection of it and the cost will be paid by the Contractor.
- AF. All shop drawings and submittals must be submitted within one week from Notice to proceed, unless otherwise specified. No pay request will be processed until all required submittals have been received.
- AG. Each Contractor shall provide personnel for traffic control and traffic coordination during all deliveries of material and equipment required in their scope of work. The Contractor shall coordinate all such activities with the Construction Manager and the City of Cincinnati, Department of Transportation and Engineering.
- AH. All portions of existing site and all utilities not part of the Work which are damaged, moved or altered in any way during construction shall be replaced

or repaired to the County's satisfaction at the Contractors expense.

- AI. Each Trade Contractor shall include in their Schedule of Values (G702) a line item for their Small Business Enterprise spending. Each SBE should be shown separately.
- AJ. Each Contractor shall attend the pre-award conference. This conference will be scheduled by the Construction Manager. All trade contractors shall be notified in writing of the date the conference will be held.
- AK. Each Contractor shall update their record / as-built drawings on a monthly basis, the updated as-built shall be submitted to the Construction Manager by the 20th of the month. If the Contractors as-builts are not updated and submitted, the Contractors pay request for that month will not be processed.
- AL. Each Trade Contractor shall make good faith efforts to meet and/or exceed the project workforce participation goals as outlined in Section 008260 page 15.
- AN. To facilitate the punch list process, each Trade Contractor must complete its punch list items within 3 business days (excluding weekends) of receipt (via fax, email, or distribution to the site leader) of each punch list item. Failure to complete the punch list will result in a back charge for the total cost, to have others complete the work as designated by the Construction Manager.
- AO. Trade Contractor to identify recycle and waste management opportunities when assessing their scope of work. These items will be reviewed at the pre-award meeting.
- AP. The flow of traffic on City streets and public walkways must be maintained at all times. It shall be this Trade Contractor's responsibility to obtain all permits and provide all labor and material that are necessary for street and sidewalk lane closures. All work involved that impacts existing streets and/or sidewalks or impedes public access in any way shall be coordinated through the Construction Manager **prior to the date of the work.**

AQ. The Construction Manager will be utilizing a web-based information management system to facilitate communications among project partners including but not limited to Owners, Architects, Engineers, Construction Manager, and Trade Contractors. The system being utilized is Viewpoint Teams document management software. All trade contractors must have an e-mail address and access to the internet. Viewpoint will be utilized for the following functions:

- Project Contact Directory- this will be maintained by the Construction Manager
- Requests for Information Management
- Meeting Minutes Distribution
- Posting of Official Notices and/or Communications
- Submittal Management
- Contract Document Management
  - Contract Drawings in PDF
  - Site Photographs
- Punchlist Management
- Field Work Order Management

The Construction Manager will issue user names and passwords to each Trade Contractor and will provide training and technical assistants to the user groups. Use of this system is mandatory. There will be no costs passed on to the users for access to the system or license fees. Users will be responsible for the costs associated with access to the internet.

AR. All Contractors shall use platform type ladders where ladders are necessary on this project. Other ladder types will not be allowed on site.

2. **A. CONTRACT DESCRIPTION TC-09: Lot 23 Park**

The Scope of Work in this Contract TC-09 includes all labor, material, tools, equipment, services, and supervision necessary to complete all work specified herein, in accordance with the Contract Documents, as described below to a complete functional safe and operating state.

Included is the Work as indicated in this Contract Description TC-09 the Drawings, the General Conditions and Division 1 of the General Requirements. This scope of work includes, but is not necessarily limited to, the following Specification Sections:

Bidding Requirements, Contract Forms and Conditions of the Contract

**The following items represent specific inclusions in this Contract TC-09: Lot 23 Park. They are provided as a guide to aid in the assignment of work and in no way should be construed as being all-inclusive. BP#6 contains scopes of work with different wages rates and contracts. Please review or request additional information if it is unclear.**

**This Contract for the following scope of work will be with the City of Cincinnati**

**TC-09 includes multiple trades. Please review all trades listed below related to TC-09 scope of work.**

**The following shall be include:**

1. All work associated with Lot 23 parks scope. Lot 28 Scope not to be included. Park scope is typically defined as any work above structural concrete deck and waterproofing.
2. Temporary Toilets, dumpsters, and site fencing to be by TC-10. Temporary fall fencing, plates, covers, etc to be included as required for this scope of work.
3. Concrete Topping slabs to be by TC-10
4. Waterproofing and expansion joints to be by TC-10
5. Site signage and security to be by TC-10
6. General Building Permit is provided by the Construction Manager. Any other required permits or licenses are the responsibility of this Trade Contractor for this work scope.
7. Geotechnical monitoring and testing services are provided by others. This Trade Contractor shall coordinate and assist in the inspection and testing of all work on a daily basis.

8. This Contractor shall include all excavation and backfill as needed. All borrow material or engineered fill shall meet the requirements of the specifications.
9. Contractor to include concrete structure on top of waterproofing including but not limited to light pole bases, mow strip, misc. and foundations located within the park shall be included as part of this trade contract. Reinforcing steel shall be provided as part of this work scope. The Concrete structural podium by TC-04. Race St. Topping slabs and expansion joints by others.
10. Expansion joint and compression seals are not included in this scope of work. Waterproofing by others. Coordination with waterproof installer to be included. Assure no damage to waterproofing while installing TC-09 scope of work.
11. This contractor is responsible for providing all sealants, sealers and admixtures as required for the Parks scope of work.
12. This contractor is to include coordination with all trades for sleeves. This contract to include installation of all sleeves required for TC-09. Include coring for all locations missed. This contractor to be responsible for reinforcing details located at sleeved opening per the documents. Each Trade Contract is to be responsible for their own sleeve installation. This contractor is responsible for maintaining sleeve locations and orientation before and during concrete pours, granite installation, etc.
13. This Contractor shall provide a complete electrical scope as shown within the documents for all park level including but not limited to conduit, wire, light fixtures, light poles, lighting controls, panels, and all associated shut downs.
14. This contractor shall provide a complete plumbing scope installation. To include but not limited to domestic water line from Lot 22, booster pumps, back flows, drinking fountains, irrigation connection, heat trace system, under drains, etc. Drain bodies shown cast into structural podium/tree pits by TC-04. Final connection or adjustment by TC-09. Fire suppression will be by TC-07.
15. Contractor performing work must have all licenses and certifications as required by the specifications and/or authorities having jurisdiction.
16. Provide and maintain temporary protection and plates to maintain safe access across site. Protection of work as required to assure quality.
17. This contractor shall provide temporary safety railing around or protective floor cover over openings in the concrete slabs as required to meet OSHA standards. This includes covers over the sleeve openings.
18. Spoil/trash removal for this work scope is the responsibility of this Trade Contractor. All materials are to be removed from site and legally disposed. Dumpsters provided by TC-10.

19. Temporary water and temporary power required for this work scope shall be the responsibility of this Trade Contractor. TC-08 to provide temporary power stations at ground level.
20. Dewatering as required to complete this work scope shall be the responsibility of this Trade Contractor. All open holes/excavations shall be kept clean and free from water as required by the contract documents. This Trade Contractor shall provide barricades or other measures to protect the public and other workers on site from a fall hazard into holes.
21. This Trade Contractor shall include all reinforcing steel as required for a complete, correct installation.
22. All deliveries, hoisting and rigging into place are to be provided by this Trade Contractor as required.
23. This Trade Contractor shall be responsible for dust control as required for this work scope.
24. Traffic control for this work scope is the responsibility of this Trade Contractor.
25. No washing of the chute will be permitted on site. Wash out of the concrete truck to be done at the batch plant. This contractor is responsible for clean-up of all dunnage from deliveries and hauling off-site within a timely manner.
26. Provide all layout and engineering from control points and benchmarks provided on survey drawings.
27. This Trade Contractor shall include any necessary permits required for temporary road shutdowns if required to perform this work scope.
28. All hoisting and storage associated with this Trade Contract is to be included in this work scope.
29. Reference Section 017419 for removal of all debris.
30. When doing utility work, all work shall be done by an approved contractor as identified by that utility company.
31. This Trade Contractor shall include backfill/soils as identified to meet the specification requirements.
32. The temporary plywood protection shown at the existing garage will be provided and maintained by others.
33. This Contractor shall provide all hangers and inserts as required for a complete, correct installation.
34. Contractor to include Site furnishings and installation per manufacturer requirement/details.
35. Furnish and install all wood/metal blocking as noted and/or required. The temporary plywood protection shown at the existing garage will be maintained and removed at the end of the project by TC-05. Precautions to be made to not damage existing conditions of garage. Patch and repair if damage occurs.
36. All removals and demolition shown on C102 are provided by others.
37. Garage deck expansion joint system is provided by others.
38. A thorough cleaning having the necessary equipment and materials is to be provided for as a form of final cleaning and acceptance, as

- required prior to turn over.
39. This Trade Contractor shall include all off hours work required for the specific tie-ins
  40. Contractor to include work as shown for East Side granite ramp. Ramp demo and concrete scope to be by TC-10. Granite Finishes to be by TC-09
  41. Donor wall modification scope to be included in TC-09. Misc. Demo as required for proper tie ins etc to be provided.
  42. Furnish and install all elevator head house claddings, wood, zinc, trim, and down spouts. Roofing material and installation by TC-05.
  43. Provide all applicable warranties, maintenance, etc per the construction documents.
  44. This Trade Contractor shall include a \$ 550,000 allowance to account for potential design changes initiated by the Owner.

## **TC-09 Ornamental Metals and Misc. Metals**

1. Furnish and install all non-stainless and Stainless steel railings and guards, non-stainless bollards, gratings, etc per the construction documents at Park level. Park level is defined as elevated podium deck.
2. Furnish and install all stainless steel railings, guards, and bollards. Railings, bollards, and misc. metals shown on Slab on Grade by TC-06. Heavy Crash railing on grade and at North West Corner of Lot 23 by TC-06.
3. Furnish and install Parks Stainless bollards located on Race St. and within the Park. Embeds provided and installed by others. Verify bolt pattern for previously installed anchors. Anchors to be provided and installed by TC-04. Coordination to be included once under contract for embed locations.
4. Elevator Head House Stair Railings and Stair Railings at Lot 23/24 stair by TC-06.
5. Railings located on Lot 27 to be included.
6. Rework of existing Elm St. Railing to be included.
7. Furnish and install all grouting under all misc. and structural metals including but not limited to handrails, railings, and bollards. Installation of new handrails to be coordinated with the removal of temporary handrails – at no time is a safety hazard to be experienced.
8. Miscellaneous metals are included in this Bid Package. Any anchorages, embed plates, anchor bolts, and the like that are required to be embedded in the concrete are also to be furnished and installed. Include all pipe rail, embedded angles, beams, bollards etc. Include pipe guards as shown on the plans, guardrails and handrails.

## **TC-09 Electric**

1. This Contractor shall furnish and install power to all equipment/fixtures. Hook up all equipment/fixtures at the machine and/or disconnect panel is to be provided for. Provide all fuses and disconnects required – per code to make equipment operational.
2. Furnish and install all conduit and wiring for lighting
3. Furnish and install concrete curbs and pads for equipment as needed and/or as required by code.
4. This Trade Contractor shall include all off hours work required for the specific tie-ins and or shutdowns for this Bid Package.
5. This Trade Contractor will be responsible for fire stopping and sealing of penetrations through fire rated and non-rated construction. This Trade Contractor to submit UL drawings on how they plan to handle each different type of penetration through rated partitions. These details are to be strictly adhered to in the field and each penetration is to be labeled with the UL number.

6. Trade Contractors responsibility to coordinate all work and provide all conduit, anchor bolts etc. as required for light pole to function as designed.
7. Contractor to provide and install light poles located in Lot 23. Race St. Poles by TC-10.
8. Provide a pull string for all empty conduits that are to be installed.
9. Contractor to provide lighting submittals, schedule, and delivery dates within 2 week of contract.

## **TC-09 Plumbing**

1. Lot 23 NPW 2" water tap, meter set, piping, meter pit, etc to be included by **TC-04**. Line to be stubbed up on lot 23 column with a valve and cap for future tie in.
2. Include domestic water line and tie in from Lot 22.
3. Install double check valve for NPW with drain down valving.
4. Include under drain loops, lines, etc where shown.
5. Include all drains not cast into the structural deck.
6. Include slot drains per documents.

## **TC-09 Granite/Stone**

1. Furnish and install complete granite/Stone scope per the construction documents. To include but not limited to: granite pavers, stair treads, seat walls, cladding, decorative features, etc.
2. Granite/Stone to match existing Smale Park standard color, texture, and quarry. Samples to be provided and approved prior to material release.
3. Granite installation to be sequenced with waterproofing installation. Waterproofing by Others.
4. Granite pavers thickness as shown on the drawings.
5. Mortar, setting beds, polymeric sand, and other installation materials to be included.
6. Material and installation to be delivered and installed in phases/sequences as the project progresses.
7. On site storage is limited. Limited lay down areas for granite to be provided within Lot B gravel area. Additional areas maybe available but are not guaranteed.
8. Include alteration of existing donor wall. Work to include removal, demo, pour back, add new stone and Re-clad as required per construction documents.
9. Remove existing granite per the construction documents, store, clean, and reinstall as shown.
10. Include stone cladding at Elevator head house

## **TC-09 Artificial Turf**

1. Furnish and install a complete artificial turf system per the construction documents.
2. This contractor to provide subgrade per manufacturers recommendations
3. Include underdrain in lawn area.
4. Include warranty as specified.

## **TC-09 Landscaping/Irrigation**

1. Furnish and install complete landscaping and irrigation system.
2. Soil, trees, plants, shrubs, etc to be included. Tagging of species to be regionally source and approved with architect and owner present.
3. Planting materials to be transplanted in appropriate seasons to maintain proper warranties.
4. Mulch and sod to be included where applicable.
5. Include irrigation system at applicable tree pits and plantings.
6. Include tie downs, restraints, edging, and other installation systems as noted on construction documents.
7. Include complete irrigation system including but not limited to piping, valves, boxes, zoning, controller, wiring, conduit, sleeves, heads, sprayers, and hose down quick disconnects. Irrigation connection to be connected from stub up installed by TC-04.

## **TC-09 Furnishings**

1. Include all site furnishing per the specification including but not limited to bike racks, benches, seats, trash cans, etc.
2. Include all wood clad seat wall seats, benches, etc.
3. Include moveable planters.
4. Include all foundations and fasteners required per construction documents and manufacturer recommendations
5. Protect during construction to prevent damage.
6. On site storage is limited. Scheduled deliveries and coordination to be included.

**B. CONTRACT DESCRIPTION TC-10: General Trades, Security, and Signage**

The Scope of Work in this Contract TC-10 includes all labor, material, tools, equipment, services, and supervision necessary to complete all work specified herein, in accordance with the Contract Documents, as described below to a complete functional safe and operating state.

Included is the Work as indicated in this Contract Description TC-10 the Drawings, the General Conditions and Division 1 of the General Requirements. This scope of work includes, but is not necessarily limited to, the following Specification Sections:

The following items represent specific inclusions in this Contract TC-10: General Trades, Security, and Signage. They are provided as a guide to aid in the assignment of work and in no way should be construed as being all-inclusive.

1. Maintain dumpsters( 1 per week), portable restrooms (6), and existing site fencing from 8/1 – End of projects. Reference Site Fencing drawing for location of fencing.
2. Plywood wall shown on Lower level to be maintained and removed by TC-05
3. Temporary water and electric to be included as required for TC-10 scope of work. Temporary power has been provided at ground level.
4. Contractor to furnish and install all expansion joints for Lot 23, 27, and Race St. Verify existing conditions prior to bid. Include patching and prep of boxed out joints as required per manufacturer.
5. Contractor to furnish and install a complete waterproofing system per the documents. Waterproofing to be installed in phases as structural decks are completed. Coordination with TC-09 scope to be included. Drainage board to be installed with any means required to prevent movement until soils, gravel, topping slabs, granite, etc are placed on top. Note Waterproofing to be installed on lot 27,23, and Race St.
6. Waterproofing to be inspected by a third party provided by the owner.
7. Contractor to furnish and install all concrete topping slabs on Lot 23, 27, Race St. as shown on the documents. Granite paving by TC-09.
8. Demo and install Elm St. curb cut located on the North end of Lot 27. Provide all required permits and applications.
9. Demo and reinstallation of concrete at the East Side Mehring way ramp to be included. Granite scope by TC-09.
10. Demo of existing Race St. Tree pit by TC-04
11. Account for all signage work as depicted of the “SG” Drawing series.

12. Note accessories to be provided and furnished – only to the owner. These items are noted in the specifications and SG drawings.
13. Note 14 on C101 to be included at Elm St. Include all permits, traffic control, etc as required. Note 13 at Mehring Way by TC-05
14. This Trade Contractor shall include a \$ 300,000 allowance to account for potential changes initiated by the Owner.

**C. Security**

Included is the Work as indicated in this Contract Description TC-10 the Drawings, the General Conditions and Division 1 of the General Requirements. This scope of work includes, but is not necessarily limited to, the following Specification Sections:

|              |                                |
|--------------|--------------------------------|
| DIVISION 26  | ELECTRICAL                     |
| All Sections | Complete                       |
| DIVISION 27  | COMMUNICATIONS                 |
| All Sections | Complete                       |
| DIVISION 28  | ELECTRONIC SAFETY and SECURITY |
| All Sections | Complete                       |

The following items represent specific inclusions in this Contract TC-10: Security. They are provided as a guide to aid in the assignment of work and in no way should be construed as being all-inclusive.

1. When doing utility work, all work shall be done by an approved contractor as identified by that utility company.
2. Furnish and install all required conduit, wiring, pull strings, hangers, fasteners, and tie ins.
3. Sleeves to be coordinated and installed by this Trade Contractor as required for this scope of work. Provide coring as required in already placed decks. Coring to be completed per THP specification: Scanning/Xray to be provided.
4. This Trade Contractor shall include all off hours work required for the specific tie-ins and or shutdowns for this Bid Package.
5. This Trade Contractor will be responsible for fire stopping and sealing of penetrations through fire rated and non-rated construction. This Trade Contractor to submit UL drawings on how they plan to handle each different type of penetration through rated partitions. These details are to be strictly adhered to in the field and each penetration is to be labeled with the UL number.
6. Furnish & install a complete operational Security System, inclusive of all required testing which shall be scheduled, coordinated and paid for by this Trade Contractor. Any tests that must be scheduled during other than normal working hours will be paid for by this Trade Contractor. This includes premium time or overtime for the Trade Contractor's personnel and any other governing entity. All materials, temporary facilities, and test apparatus required to perform these tests will be supplied by this Trade Contractor.
7. Electric scope, conduit, wiring, etc to be included where required to make the security system and fixtures operate.
8. Provide and install Race St. Light Poles. Conduits and pull boxes to be installed by TC-08.
9. All work is to be performed by contractors having the appropriate certification and licenses to perform the work.

10. Validation and acceptance of existing raceways that communicate between zones and/or aggregation points is to be included. Verify prior to bid date. Include all required race ways to complete this scope of work.
11. Building Information Modeling (BIM) is part of the project, all coordination and efforts in support of this endeavor is to be provided for.
12. All communication and activation of phone service is to be provided for – inclusive of the emergency “Blue” phones as well as the needs for the elevator.

SECTION 012100

ALLOWANCES

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Cash allowances to be included in Base Bid.

1.2 RELATED SECTIONS

- A. None.

1.3 CASH ALLOWANCES

A. General:

1. Work related to cash allowances will be performed on a time and material basis. The Contractor shall furnish and certify daily detail records of all labor and materials provided.
2. If the cost to complete the work is less than the cash allowance, a deduct Change Order will be prepared by the County for the cost difference.

B. Cash Allowance Items:

1. Trade Contract TC-09 Cash Allowance No. 1: \$550,000
2. Trade Contract TC-10 Cash Allowance No. 2: \$300,000

PART 2 PRODUCTS

Not used.

PART 3 EXECUTION

Not used.

END OF SECTION

SECTION 012200

UNIT PRICES

PART 1 GENERAL

1.1 SECTION INCLUDES

A. Unit Prices.

1.2 RELATED SECTIONS

1.3 UNIT PRICE

A. General:

1. Unit Price shall be used for adjusting the cost of work added to or deducted from the Base Bid Work defined in the Specifications and Drawings.
  - a. The Contractor shall furnish and certify daily detail records of all labor and materials provided.
  - b. Unit Prices shall be inclusive of all costs for overhead, profit, fees, taxes (where applicable), handling, and installation for completed in-place work.

A. Unit Price Schedule:

- 1.) TC-09 – Concrete Per Cubic Yard including Reinforcing
- 2.) TC-09 – Price per square foot of Granite Pavers installed( 2" and 3")
- 3.) TC-09 and TC-10– Labor Rates
- 4.) TC-09 – Stainless Typical Park Railing – Per Linear Foot.

PART 2 PRODUCTS

Not used.

PART 3 EXECUTION

Not used.

END OF SECTION

DIVISION 32 – EXTERIOR IMPROVEMENTS

SECTION 321813

SYNTHETIC TURF SURFACE

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions apply to this section.

1.2 SUMMARY

- A. Section Includes:

- 1. Furnish all labor, materials, tools and equipment necessary to install, in place, all synthetic turf as indicated on the plans and as specified herein, including all related materials not specified under another section but required for the work, whether or not specifically referred to herein. The installation of all new materials shall be performed in strict accordance with the manufacturer's written installation instruction, and in accordance with all approved shop drawings.

- B. Related Sections:

- 1. Division 31 Section "Earth Moving"
- 2. Division 32 Section "Concrete Paving"
- 3. Division 33 Section "Storm Drainage"

1.3 DEFINITIONS

- A. Contractor: Entity awarded contract to construct the synthetic turf surface; acting prime contractor.
- B. Installer: Entity to physically construct said portion of the synthetic turf surface.
- C. Manufacturer: Entity to make material to be sold to the contractor and/or installer.

1.4 PERFORMANCE REQUIREMENTS

- A. Synthetic turf system shall be capable of conducting runoff from a storm of 60 minutes duration (having a rate of rainfall for a 5-minute peak intensity of approximately 6" per hour and a total of 2.0" of rain in an hour) vertically and horizontally through the turf, base, and underdrains to the outfall pipe without ponding above the top of the infill. Ponding above the top of the infill shall be defined as standing water that is discernible

by the naked eye covering an area of the surface greater than 3 square yards for a sustained period of 10 minutes or longer.

## 1.5 SUBMITTALS

### A. Submit the following with proposal on BID Day.

1. Sample of Finish Stone and sieve analysis. (Review by engineer does not relieve contractor of responsibility to ensure that the synthetic turf system meets the specified drainage requirements). See Part 2 – Products.
2. The base contractor (if different from the turf contractor employees) must provide a list of at least five (5) synthetic turf bases completed within the last 3 years, including an owner representative and telephone number.
3. Synthetic Turf – One sample, approximately 12" X 12" filled; and one rag sample (unfilled).
4. Specification sheet of the fiber and carpet system provided in the sample.
5. A statement naming the manufacturer of the grass-like fibers.
6. Yarn manufacturer specification sheet of the specified fiber to be used within the system, per the products section of this specification.
7. Sand / Rubber mix with proper mix ratio – One sample.
8. List of at least ten (10) existing installations, including Owner representative and telephone number, whom can attest to compliance with quality assurance information. Five (5) of the existing installations must be within 150 miles of the project site.
9. Quality assurance information as delineated in paragraphs 1.6A, 1.6B (if applicable), 1.6C, 1.6D, and 1.6E below.
10. A sample of the warranty noting any exceptions to the warranty information listed in the warranty section of this specification.
11. If there are items within these specifications that the submitting party cannot comply with, these must be identified in a substitution request submitted to the architect no less than 96 hours prior to bids being due. The architect will then determine if such deviation is approved or denied. Deviations to these specifications may at the discretion of the owner be grounds for dismissal of the contractors bid proposal.

### B. Prior to order of materials, the Contractor shall submit the following:

1. Signed Certification Letter from the contractor stating that the stone base products to be installed match what was submitted as part of item 1.5.A.1.
2. Signed Certification Letter from the contractor stating that the synthetic turf products to be installed match what was submitted as part of item 1.5.A.3, 1.5.A.4, 1.5.A.5 and 1.5.A.6.
3. Signed Certification of Compliance confirming infill has been tested in agreement with the STC Guideline "Suggested Environmental Guidelines for Infill" dated August 25, 2015 (in accordance with European Standard EN 71-3).
4. Shop Drawings
  - a. Shop drawings shall be prepared at the scale of the construction documents and contain all pertinent information regarding installation.

These drawings shall be submitted to the Owner for approval prior to the manufacturing and shipment of materials.

- b. Submit drawings for:
  - I. Seaming plan.
  - II. Installation details; edge details, methods of attachment, back stop detail, other inserts, method of cutting around backstop and others inserts, etc.
  - III. Other details on construction, especially any details that may deviate from these plans and specifications. Deviations to these plans and specifications may at the discretion owner be grounds for dismissal of the contractors bid proposal.
5. Turf ‘rag” samples illustrating range in color selections with details of product matching the specifications described in Part 2 - Products.
- C. Prior to the beginning of installation, the contractor (installer) of the synthetic turf shall inspect the subbase and supply a signed letter of Subbase Acceptance for the purpose of obtaining contractor’s warranty for the finished synthetic playing surface and base drainage system.
- D. Prior to Final Acceptance, the Contractor shall submit the following:
  1. Three (3) copies of Maintenance Manuals, which will include all necessary instructions for the proper care and preventative maintenance of the synthetic turf system.
    - a. Provide descriptions of all equipment recommended for maintenance and repair, including both equipment provided by the Contractor, and by the owner.
  2. Certified test data indicating the finished surface meets the required shock attenuation, as per ASTM F355 (method) and ASTM F1936 (procedure). If the surface tests less than the acceptable limit (softer), the contractor can re-test after 90 days of use and weathering, prior to beginning modifications to the infill content.
  3. For the carpet installed, submit certified copies of independent (third-party) laboratory reports on the following ASTM tests:
    - a. Pile Height, Face Weight & Total Fabric Weight – ASTM D418
    - b. Primary & Secondary Backing Weights – ASTM D418
    - c. Tuft Bind – ASTM D1335
    - d. Grab Tear Strength – ASTM D1682
  4. For the sand/rubber infill installed, submit delivery tickets for each super sack with the following information:
    - a. Manufacturer’s name and address
    - b. Time and date for when infill was manufactured

- c. Total weight of each super sack

## 1.6 QUALITY ASSURANCE

### A. Synthetic Turf Contractor (Installer)'s Experience:

1. The synthetic turf installer shall have the experience of at least Twenty (20) acceptable installations in the United States within the past three (3) years of tufted, slit film polyethylene grass-like fabric.
2. The contractor (installer) shall employ only qualified, experienced supervisors and technicians skilled in the installation of this specific type of synthetic grass system.
3. The contractor (installer) shall have been continuously in business, under the same name, for at least the past five (5) years.
4. The contractor (installer) shall have been in the construction and/or synthetic turf installation business, under the same ownership, for at least five (5) years.
5. The contractor (installer) must be a member of the Synthetic Turf Council.
6. The contractor (installer) must be experienced in installations of synthetic grass products from the same manufacturer and product specified and proposed for this project.

### B. Sub-Base and Gravel Base Contractor (Installer)'s Experience (if different than Synthetic Turf Contractor):

1. The sub-base and gravel base installer shall have the experience of at least Five (5) acceptable installations within the past three (3) years of sub-base and base gravel specifically for synthetic turf applications.
2. The base contractor (installer) shall employ only qualified, experienced supervisors and technicians skilled in the installation of this specific type of drainage system for synthetic turf applications.
3. The base contractor (installer) shall have been continuously in business, under the same name, for at least the past five (5) years.
4. The base contractor (installer) shall have been in the synthetic turf construction and/or synthetic turf installation business, under the same ownership, for at least five (5) years.

### C. All contractors must meet the following criteria:

1. Have proper Contractor's license, in good standing, and have never had a license revoked.
2. Have not had a Surety or Bonding company finish work on any contract within the last ten (10) years.
3. Have not been disqualified or barred from performing work for any public Owner or other contracting entity.
4. No current litigation for unacceptable work or non-completion of work.

### D. Warranty: The Contractor shall submit its Single Source Warranty that guarantees the usability and playability of the full synthetic turf system for its intended uses for an eight (8) year period commencing with the date of Substantial Completion, against all

defects in workmanship of the subgrade, drainage, gravel foundation, yarn fibers, and turf surface. The warranty coverage shall not be limited to the amount of the usage.

1. The warranty submitted must have the following characteristics:
  - a. Must provide full coverage for eight (8) years from the date of Substantial Completion.
  - b. Must warrant materials and workmanship, including but not limited to gravel base stability, drainage rates, seaming materials and adhesives.
  - c. Must warrant that the finished and accepted surface elevation shall not vary by more than 0.1' due to instability of the gravel foundation (unrelated to existing, pre-developed subgrade soil conditions) or drainage system and that the drainage rates will remain at or above design capacity for the life of the warranty.
  - d. Must have a provision to either make a cash refund or repair or replace such portions of the installed materials that are no longer serviceable to maintain a serviceable and playable surface.
  - e. Must be a warranty from a single source covering workmanship and all self-manufactured or procured materials of the turf, turf system, base, aggregate base, and drainage.
  - f. Warrant that the yarn used to make the grass-like tufts will maintain its UV stability and tensile strength such that the strength of the fiber when measured in accordance with ASTM D-2256 will not decrease by more than 50% during the warranty period due to breakdown of UV stability.

E. Manufacturer Qualifications

1. Must specialize in manufacturing (tufting) the products and fibers specified in this section.
2. Must be experienced in the manufacture of this specific type of infilled synthetic grass system. This includes the tuft fiber, backing(s), and backing coating.
3. Shall have manufactured (tufted) more than fifteen million (15,000,000) square feet of polyethylene tufted turf for landscape use in the past five (5) years.
4. The manufacturer must be a member of the Synthetic Turf Council (STC).

1.7 DELIVERY, STORAGE, AND PROTECTION

- A. Deliver products to the site in wrapped, unopened condition.
- B. Store products in safe, clean location and in a manor to protect from accidental damage

1.8 EXISTING CONDITONS

- A. The contractor shall review and accept existing conditions prior to bidding. The contractor shall again review and accept existing conditions prior to beginning the installation.

- B. The contractor shall protect all existing conditions that are not part of the scope of work and repair any damage to existing conditions that occurs during this scope of work.

#### 1.9 LAYOUT

- A. See drawings for layout. Contractor shall survey, verify all measurements and submit full layout as a dimensioned drawing with all proposed graphics included, for owner review/approval, notifying of any conflicts.

#### 1.10 TEMPORARY UTILITIES

- A. Contractor may connect to the Owner's existing utilities, as available, to supply necessary water, adequate lighting and electricity for installation.
- B. Contractor shall supply temporary sanitation facilities, including paying all costs associated therewith.

### PART 2 - PRODUCTS

#### 2.1 MANUFACTURERS

- A. Pre-approved Infilled Synthetic Turf supplier / installers:
  1. The Motz Group (Basis of Design)  
3607 Church Street, Suite 300  
Cincinnati, Ohio 45244  
Phone (513) 533-6452

#### 2.2 MATERIALS

- A. All components and their installation method shall be designed and manufactured for use on outdoor landscape applications. The materials as hereinafter specified, should be able to withstand full climatic exposure in location of installation, be resistant to insect infestation, rot, fungus and mildew; to ultra-violet light and heat degradation.
- B. The finished playing surface shall appear as mowed grass with no irregularities or wrinkles and shall afford excellent traction for conventional athletic shoes of all types. The finished surface shall resist abrasion and cutting from normal use. The system shall be ideal for baseball, football, soccer, intramurals and recreational use.
- C. Synthetic Turf: Monofilament
  1. Tufted, monofilament polyethylene grass-like material, coated with a urethane secondary backing. The fibers shall be tufted to a finished pile height of not less than 1.50". Tufting gauge shall be no greater than 0.75".
  2. All Monofilament Fibers must be Shaw Sports Turf Powerblade Pro (or approved equal)
  3. Pile Yarn (Polypropylene (LSR) yarn with resistance to fibrillation is prohibited): Proven athletic caliber yarn designed specifically for outdoor use and stabilized to

resist the effect of ultraviolet degradation, heat, foot traffic, water and airborne pollutants. The pile fiber, shall possess the following physical characteristics:

- |    |                      |                  |
|----|----------------------|------------------|
| a. | Yarn Denier          | 10,800 (nominal) |
| b. | Yarn Dimension       | 300 micron       |
| c. | Breaking Load:       | Min. 30 psi      |
| d. | Elongation to Break: | >9%              |
| e. | Moisture Regain      | <0.5%            |

4. The finished carpet shall possess the following physical characteristics:

- |    |   |   |
|----|---|---|
| a. | Finished Pile Height  | >1.50"<br><2.00"                          |
| b. | Pile Yarn Weight (Total)  | ≥ 80 oz./sq. yd.                          |
| c. | Primary Backing (Triple Primary)  | 8.5 oz./sq. yd.                           |
|    | <i>I. Two woven polypropylene, one non-woven</i>                            |   |
| d. | Secondary Urethane Coating  | ≥ 26 oz./sq. yd.                          |
| e. | Fabric Width  | 15'                                       |
| f. | Tuft Bind Strength  | >8 lbs. (without infill)                  |
| g. | Tuft Bind Strength  | >10 lbs. (with infill)                    |
| h. | Grab Tear Strength (Machine Direction)                                      | >190 lbs.                                 |
| i. | Grab Tear Strength (Cross Machine Direction)                                | >250 lbs.                                 |
| j. | Pill "Burn" Test  | Pass (with infill)                        |
| k. | Machine Gauge   | ≤ 3/4"                                    |
| l. | Backing Perforations  | 3/8" dia., 3"x4" centers.                 |
| m. | Exposed Fiber above infill  | ≥ 1/2", ≤ 3/4"                            |
| n. | Lisport Testing   | > 40,000 cycles<br>(negligible splitting) |
| o. | Impact Attenuation  |   |
|    | <i>I. &gt;90 and &lt;130 G-max value for 30 days following installation</i> |   |
|    | <i>II. &lt;165 through life of warranty.</i>                                |   |

D. Synthetic Turf: PE or Nylon thatch layer

1. 12 oz./sq. yd. (minimum)

E. Infill System: Acrylic Coated Sand

1. In fill material shall be 100% acrylic coated sand (US Greentech Envirofill, or approved equal). No Rubber. Infill system shall have a minimum weight of 4 pounds per square foot, +/- 0.5 pounds. Infill shall possess these physical characteristics:

- |    |                            |                                |
|----|----------------------------|--------------------------------|
| a. | Coefficient of Uniformity: | ≤ 1.3                          |
| b. | Particle Size:             | ≥ 98% retained on sieves 12-20 |
| c. | Angle of Repose:           | ≤ 30°                          |
| d. | Color:                     | Green                          |

- F. Elastic Layer Shock / Underlayment Pad
  - 1. The shock attenuation pad shall be a minimum 23mm pre-formed pad, manufactured in interlocking panels (ProPlay Sport 23) with gaps for thermal expansion.
- G. Perimeter edge details, underground storm sewer piping and connections, required for the system shall be as detailed on the drawings with modifications as recommended by the manufacturer, only after approval by the Architect. The cost for these modifications shall be included in the Contract Sum.
- H. Provide the following maintenance equipment:
  - 1. Grooming Brush – 72” wide for tractor attachment
  - 2. Sweeper – 46” wide for tractor attachment
- I. The entire synthetic infill turf system shall be resistant to attack by bacteria and to fungal growth.
- J. The entire synthetic turf system shall be “lead-free”.
- K. Finish Gravel is to be angular clean washed No. 9 gravel, free of dust and fines and according to the following:

| % Passing | Material       |                |
|-----------|----------------|----------------|
|           | #57,<br>washed | #9m,<br>washed |
| 1"        | 95 to 100      | 100            |
| 3/4"      |                | 100            |
| 1/2"      | 25 to 60       | 100            |
| 3/8"      |                | 75 to 100      |
| #4        | 0 to 10        | 0 to 25        |
| #8        | 0 to 5         | 0 to 5         |
| #16       | ---            | ---            |
| #30       | ---            | ---            |
| #50       | ---            | ---            |
| #100      | ---            | ---            |
| #200      | ---            | ---            |

### PART 3 - EXECUTION

#### 3.1 GENERAL

- A. The installation shall be performed in full compliance with approved shop drawings.

- B. Only trained technicians skilled in the installation of athletic caliber synthetic turf systems, working under the direct supervision of certified turf builder's supervisors, shall undertake the placement of the system.
- C. The surface to receive the synthetic turf shall be inspected and certified by the installer as ready for the installation of the synthetic turf system and must be perfectly clean as installation commences and shall be maintained in that condition throughout the process.

### 3.2 SITE WORK

- A. Fine-grade subgrade to elevations required to create final finish turf infill elevation flush with proposed curb surface. Surface to be on uniform plane and grade.
- B. Subgrade: Laser grade the subgrade to a tolerance of + 0.5" of design elevation. Proof-roll the subgrade to assure a consistent and uniform compaction of a least 92% across the entire surface. Owner is to be provided with 24 hour notice of proof-roll. Proof-roll to occur in the presence of owner or owner's representative. The Owner, or owner's representative will observe the subgrade and inform the contractor of visual acceptance of the subgrade conditions. Acceptance of the subgrade is required before the contractor can commence drainage installation and/or gravel base placement. The Owner reserves the right to inspect and test the subgrade as it deems appropriate, including employing a certified surveyor or geotechnical engineer. Such acceptance, however, does not relieve the Bidder of responsibility for complying with these specifications.
- C. Drainage: Install drainage according to the plans and specifications and connect the drainage to storm water structures as indicated on the drawings.
- D. Gravel Base: Install a minimum of 6" of base gravel across the subgrade (including maximum 1.5" of finish drainage stone). Prior to gravel placement, cover entire subgrade and wrap all drainage trenches with a minimum 3 oz geotextile fabric. Grade finished surface of gravel base to a tolerance of + 0.5" across the entire surface, with variations of less than 0.25" in any 10 lineal feet. The Owner, or owner's representative will observe the gravel installation and inform the contractor of visual acceptance of the finished gravel conditions. Acceptance of the finished gravel is required before the contractor can commence carpet installation. The Owner reserves the right to independently inspect and test the finished gravel surface, as it deems appropriate, including employing a certified surveyor to assure elevation conformance and/or a geotechnical firm to test gravel permeability. Such acceptance, however, does not relieve the Bidder of responsibility for complying with these Specifications.
- E. Drainage Testing: Contractor must provide drainage testing of the prepared stone base prior to proceeding with the installation of the carpet system. Contractor to provide a minimum of 4 infiltration tests equally spaced across the surface. The Owner must be given minimum 72 hours advance notice of said test. Owner shall witness the test. Contractor must provide written summary report of test results indicating that the minimum specified drainage requirements have been met. Such testing does not relieve the contractor of responsibilities that the final product (installed carpet and infill system) must also meet the minimum specified drainage requirements. Drainage

Testing must be performed in accordance with ASTM F2898-11 Standard Method for Permeability of Synthetic Turf Sports Field Base Stone and Surface System by Non-confined Area Flood Method”

### 3.3 INSTALLATION

- A. The Owner reserves the right to inspect the subbase by means of a laser level. Based on the owner's report of the subbase, the Contractor shall fine grade the subbase, including properly rolling and compacting the base, until deemed suitable by the owner.
- B. The contractor shall thoroughly inspect all materials delivered to the site, both for quality and quantity, to assure that the entire installation shall have sufficient material to maintain proper sand/rubber ratios.
- C. Synthetic turf shall be loose laid across the surface, stretched, and attached to the perimeter edge detail. Turf must also be attached via a nailer board to the curbs.
- D. Seams shall be adhered using reinforcing tape and high-grade outdoor synthetic turf adhesive. Seams may also be sewn at the contractor's choice. Seams shall be flat, tight, and permanent with no separation or fraying.
- E. Infill materials must be brought to the site and stockpiled for inspection by the owner. Infill materials must be mixed by an experienced installer. The sand/rubber blend shall be applied in numerous thin lifts using special broadcasting equipment. The turf shall be raked and brushed properly as the mixture is applied. The infill material shall be installed to a depth per above specifications. The mixture can only be applied when dry. (Review by engineer does not relieve contractor of responsibility to ensure that the synthetic turf system meets the specified impact attenuation requirements).

### 3.4 CLEAN UP

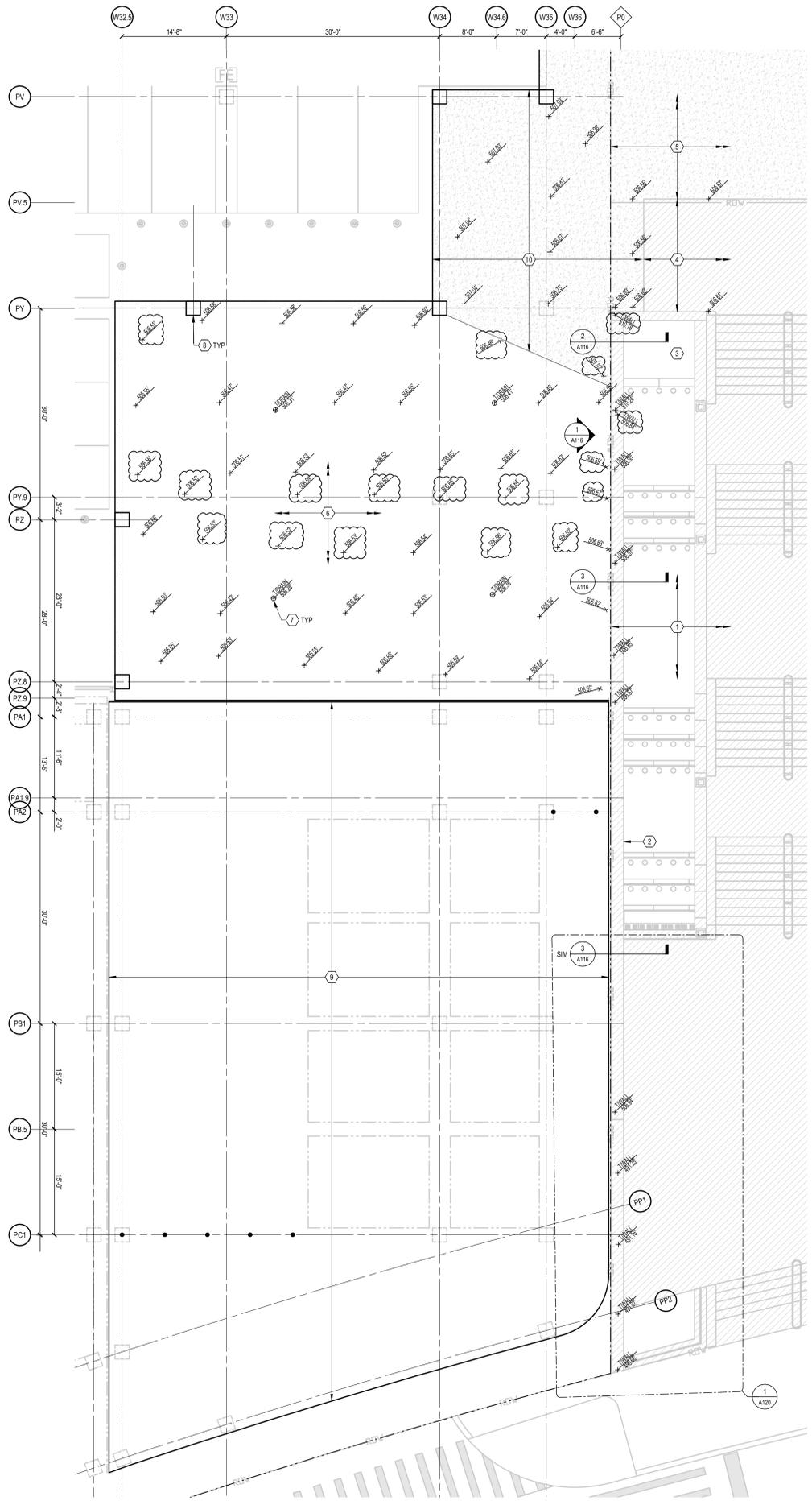
- A. Contractor shall provide the labor, supplies and equipment as necessary for final cleaning of surfaces and installed items.
- B. All usable remnants of new material shall become the property of the Owner.
- C. The Contractor shall keep the area clean throughout the project and clear of debris.
- D. Surfaces, recesses, enclosures, etc., shall be cleaned, as necessary, to leave the work area in a clean, immaculate condition ready for immediate occupancy and use by the Owner.

END SECTION

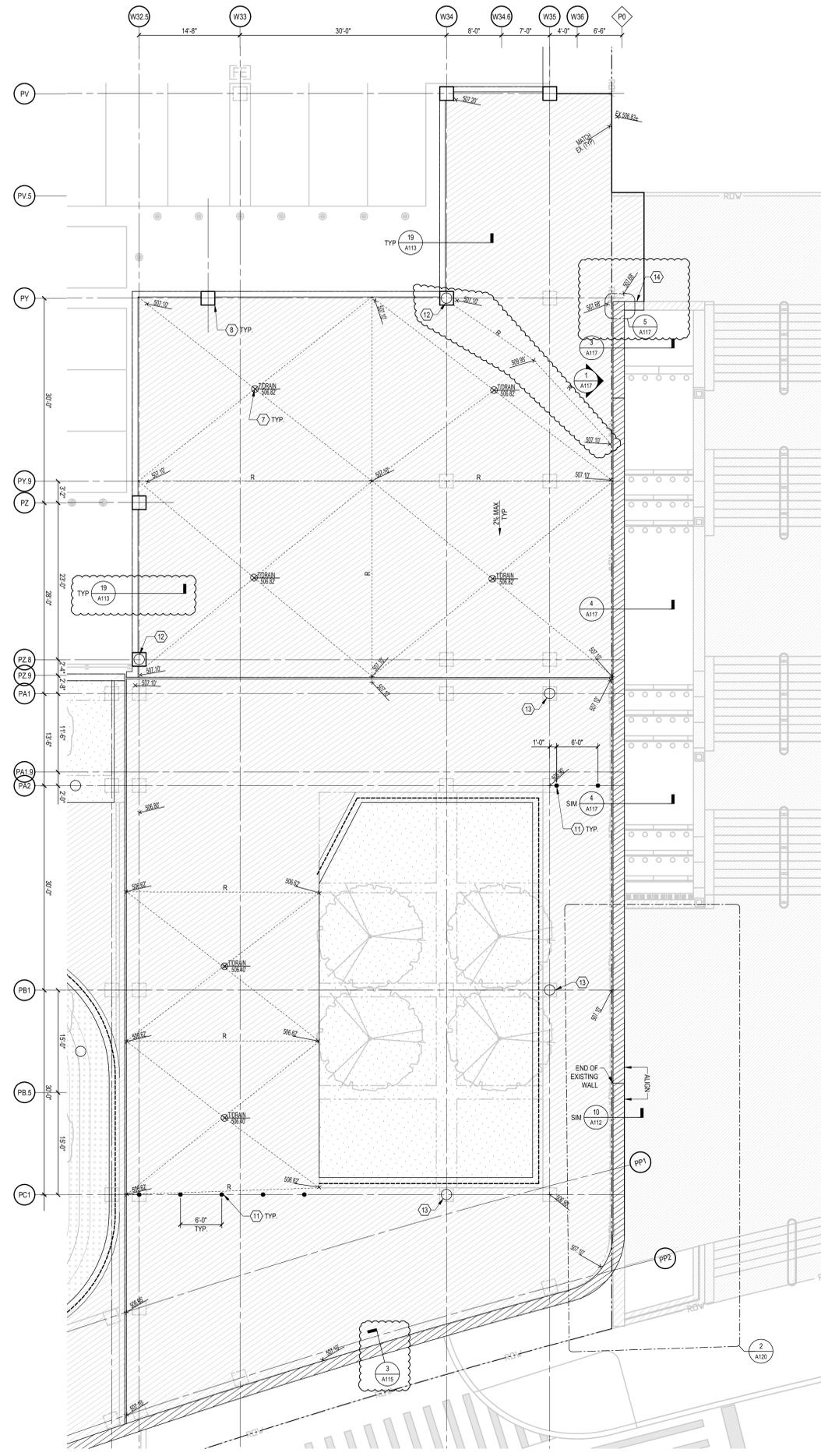
- LEGEND:**
- CONCRETE PAVING
  - GRANITE PAVING
  - GRANITE
  - SPORTS TURF
  - NATURAL TURF
  - GROUND COVER
  - TIGRADING SPOT ELEVATION (U.N.O.)
  - VALLEY
  - RIDGE
  - AREA DRAIN
  - SLOT DRAIN
  - LIGHT POLE
  - EXPANSION JOINT

**GENERAL NOTES:**  
 A. REFER TO LANDSCAPE PLANS FOR PLANTINGS, SPORTS TURF, PAVEMENT PATTERNS AND SITE FURNISHINGS.

- DRAWING NOTES:**
1. EXISTING VINE STREET STAIR (LOT 22) CONSTRUCTION.
  2. EXISTING LOT 22 DONOR WALL.
  3. EXISTING UPPER FOUNTAIN BASIN.
  4. EXISTING GRANITE PLAZA PAVEMENT.
  5. EXISTING CONCRETE PAVEMENT.
  6. EXISTING LOT 24 CONCRETE STRUCTURE (ELEV. 506.5±).
  7. EXISTING BI-LEVEL DRAIN. ADJUST UPPER (GRATE) ELEVATION TO PROPOSED ELEVATIONS ON PLAN 20A111.
  8. EXISTING CONCRETE COLUMN SLAB (TOP OF CONCRETE 510.0±, TOP OF REBAR 515.0±).
  9. EAST END OF NEW LOT 23 STRUCTURE (UNDER CONSTRUCTION).
  10. REMOVE EXISTING CONCRETE TOPPING SLAB AND DRAINAGE BOARD. PROTECT EXISTING WATERPROOFING.
  11. PLAZA BOLLARD. REFER TO S002 (FOR ANCHORAGE DETAIL) AND DETAIL 7/A115.
  12. LIGHT POLE MOUNTED TO COLUMN STUB. SEE ELECTRICAL DRAWINGS. RUN SURFACE-MOUNTED CONDUIT DOWN BACK SIDE OF COLUMN TO GARAGE BELOW.
  13. LIGHT POLE AND BASE. REFER TO DRAWING S002 AND ELECTRICAL DRAWINGS.
  14. MODIFY OR REPLACE THIS SECTION OF GRANITE COPING AS NECESSARY TO ACCOMMODATE NEW COPING ON WEST WALL OF UPPER BASIN.

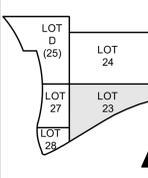


**1 EXISTING CONDITIONS/DEMOLITION PLAN**  
 A111 1/8" = 1'-0"



**2 PARK LEVEL ENLARGED PLAN**  
 A111 1/8" = 1'-0"

| ISSUE | DATE     | DESCRIPTION                  |
|-------|----------|------------------------------|
| 1     | 10/25/18 | BID PACKAGE #1 - BID PRELIMS |
| 2     | 10/25/18 | BID PACKAGE #1 - SCOPING SET |
| 3     | 2/12/20  | BID PACKAGE #1               |
| 4     | 3/22/20  | BALLETIN #10                 |
| 5     | 3/22/20  | BID PACKAGE #1 - ADDENDUM #1 |
| 6     | 3/22/20  | BID PACKAGE #1 - ADDENDUM #2 |



DRAWN BY: L.C.G.  
 ENGINEER: M.S.M.  
 CHECKED BY: M.L.H.

**THE BANKS PHASE 3B**

LOT 23/27/28 GARAGE & RACE ST. TURNAROUND

PARK LEVEL (503) ENLARGED PLAN

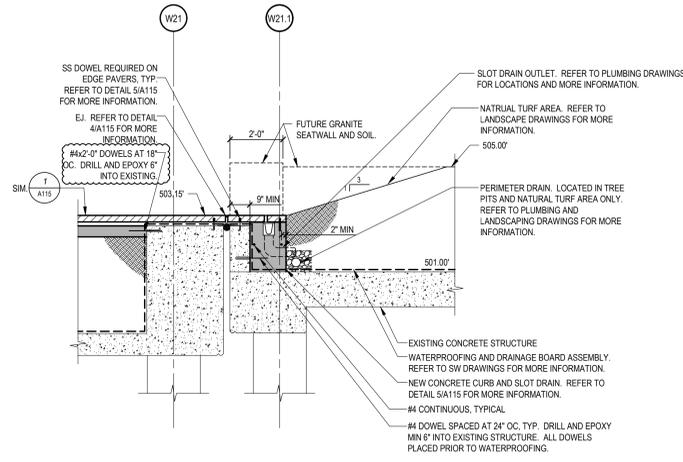
JOB NUMBER: 98090.38 DATE: 12/12/2019  
 DRAWING NUMBER: A111



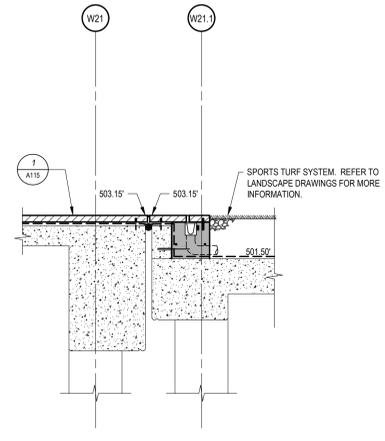
HAMILTON COUNTY  
RIVERFRONT PARKING  
AND INFRASTRUCTURE  
IMPROVEMENTS



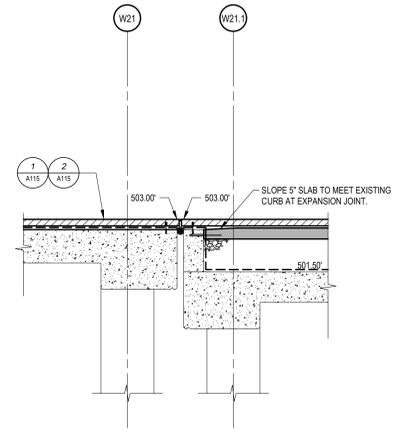
TIP Limited, Inc.  
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100 East Eighth Street  
Cincinnati, Ohio 45202  
Phone: 513.241.3222  
www.thpltd.com



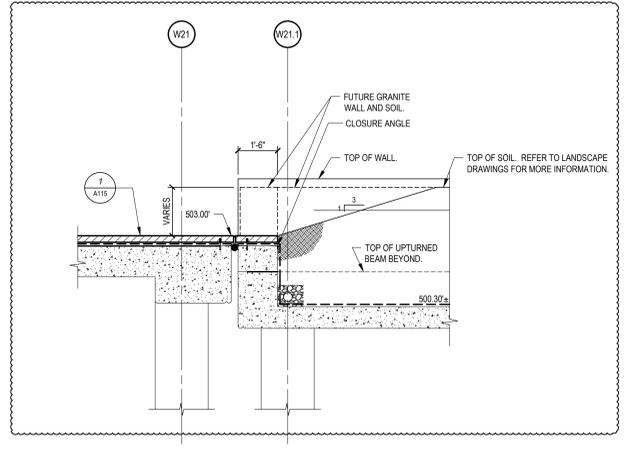
**1 SECTION**  
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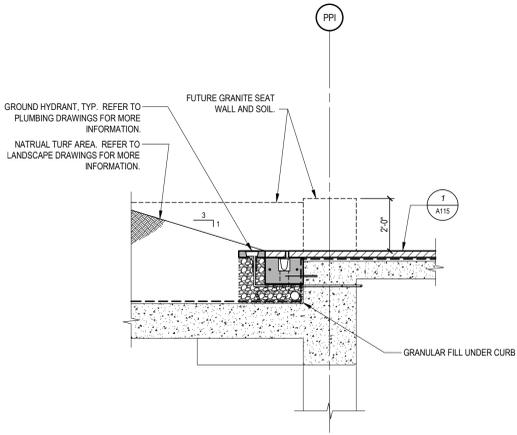
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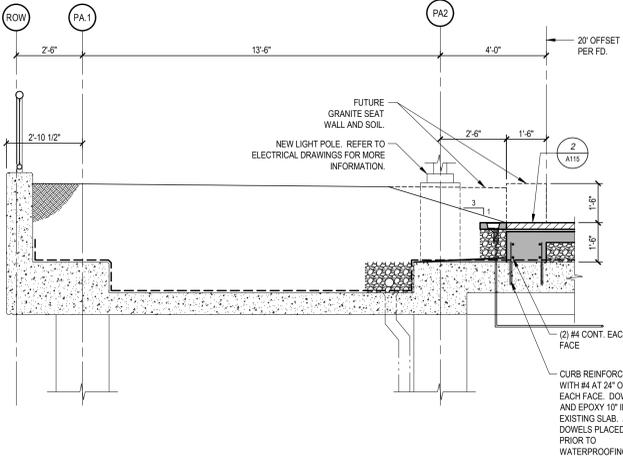
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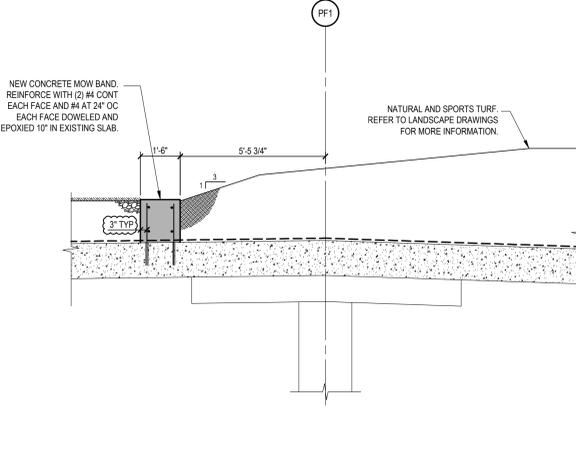
**4 SECTION**  
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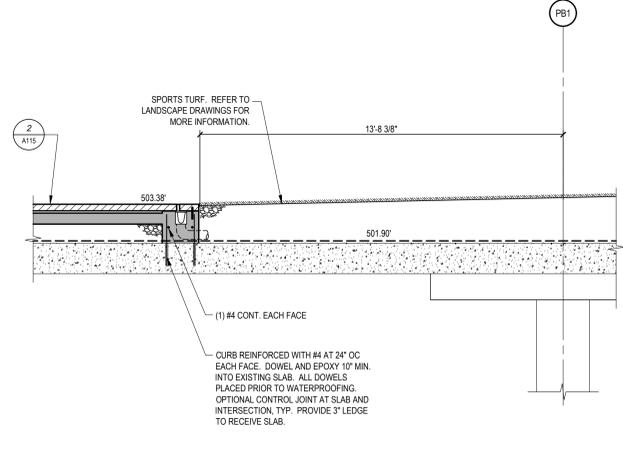
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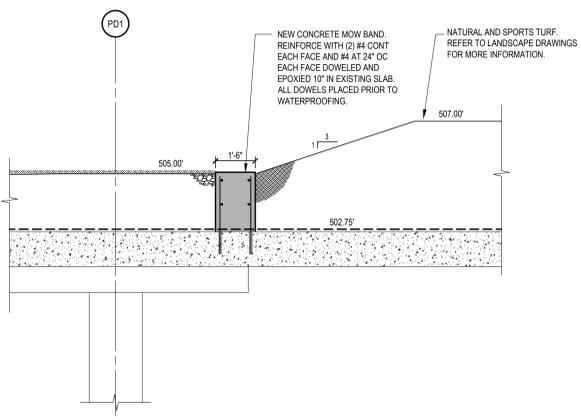
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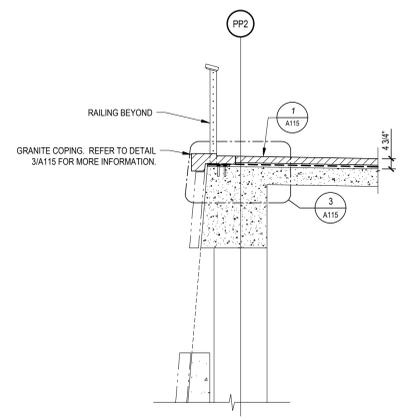
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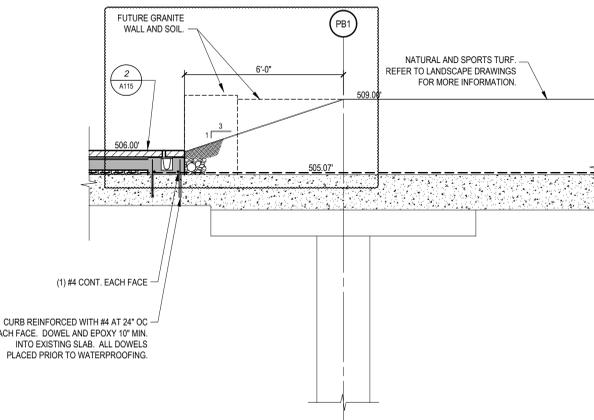
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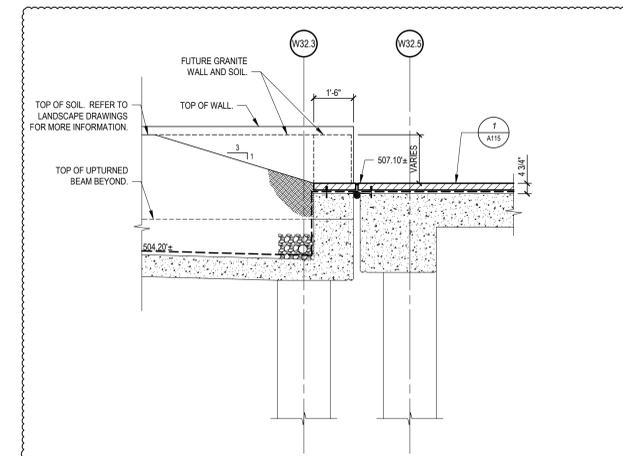
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**10 SECTION**  
A112 3/8"=1'-0"

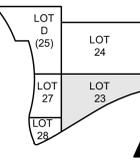


**11 SECTION**  
A112 3/8"=1'-0"



**12 SECTION**  
A112 3/8"=1'-0"

| ISSUE | DATE       | DESCRIPTION                  |
|-------|------------|------------------------------|
| 1     | 10/10/2018 | BID PACKAGE #6 - BID BIDDING |
| 2     | 10/10/2018 | BID PACKAGE #6 - SECOND SET  |
| 3     | 2/21/2020  | BID PACKAGE #6 - ADDENDUM #2 |
| 4     | 3/12/2020  | BID PACKAGE #6 - ADDENDUM #2 |



DRAWN BY: L.C.G.  
ENGINEER: M.S.M.  
CHECKED BY: M.L.H.

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
**PARK SECTIONS**

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DATE: 12/10/2019  
DRAWING NUMBER:

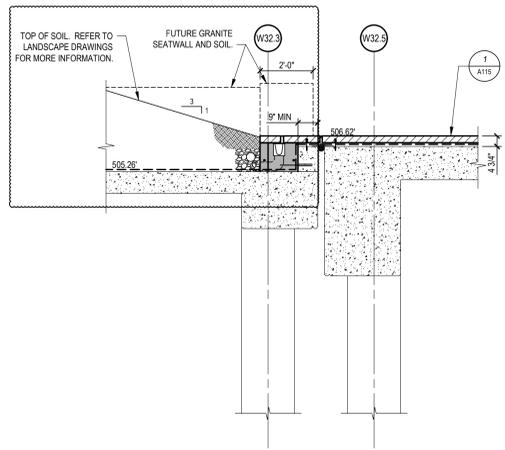
**A112**



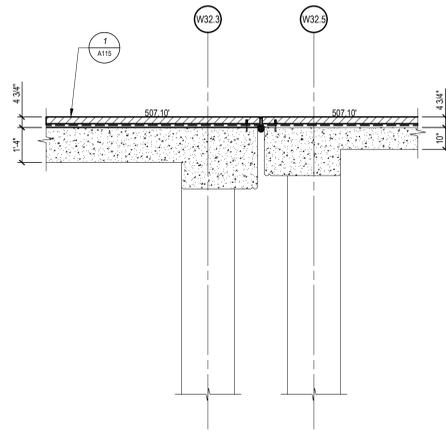
HAMILTON COUNTY  
RIVERFRONT PARKING  
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IMPROVEMENTS



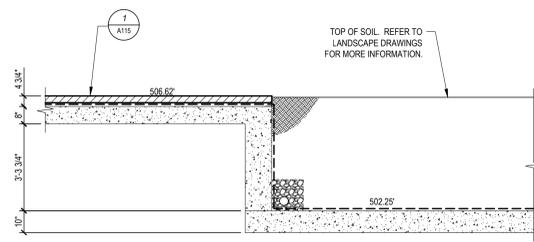
THP Limited, Inc.  
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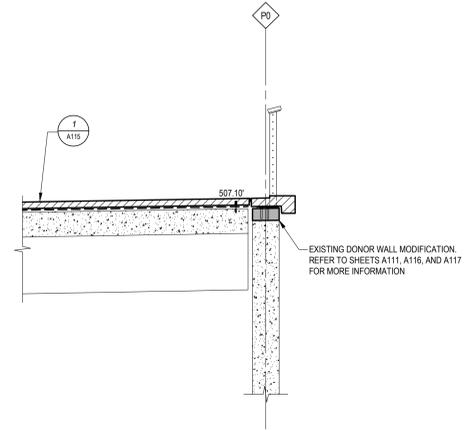
**13 SECTION** REFER TO DETAIL 1/A112 FOR TYPICAL NOTES  
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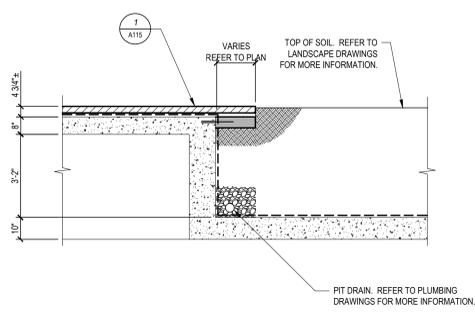
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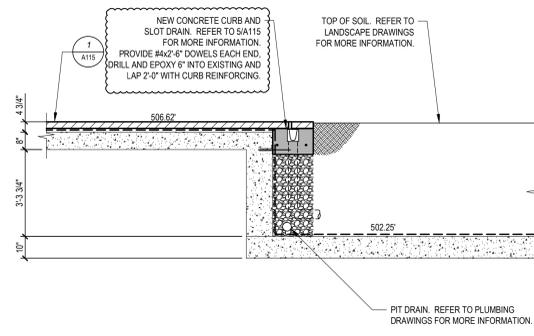
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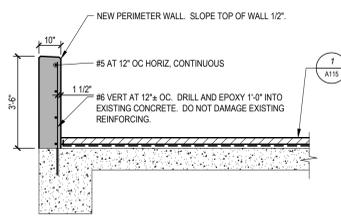
**16 SECTION** REFER TO DETAIL 1/A112 FOR TYPICAL NOTES  
A113 3/8"=1'-0"



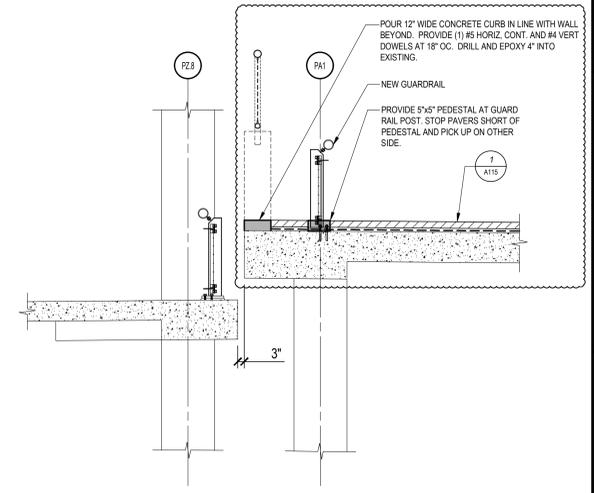
**17 SECTION** REFER TO DETAIL 1/A112 FOR TYPICAL NOTES  
A113 3/8"=1'-0"



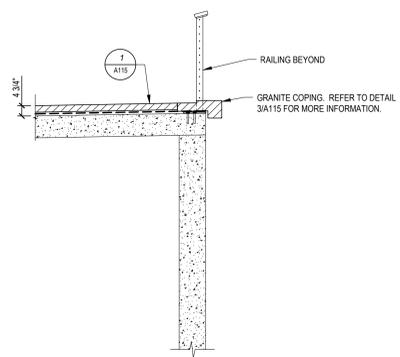
**18 SECTION** REFER TO DETAIL 1/A112 FOR TYPICAL NOTES  
A113 3/8"=1'-0"



**19 SECTION** REFER TO DETAIL 1/A112 FOR TYPICAL NOTES  
A113 3/8"=1'-0"

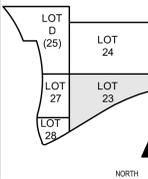


**20 SECTION** REFER TO DETAIL 1/A112 FOR TYPICAL NOTES  
A113 3/8"=1'-0"



**21 SECTION** REFER TO DETAIL 1/A112 FOR TYPICAL NOTES  
A113 3/8"=1'-0"

| ISSUE | NO. | DATE       | DESCRIPTION |
|-------|-----|------------|-------------|
|       | 1   | 12/15/2019 | ISSUE SET   |
|       | 2   | 02/02/2020 | ISSUE SET   |
|       | 3   | 3/12/2020  | ISSUE SET   |



DRAWN BY: L.C.G.  
ENGINEER: M.S.M.  
CHECKED BY: M.L.H.

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
**PARK SECTIONS**

JOB NUMBER: 98090.38  
DATE: 01/31/2020  
DRAWING NUMBER:

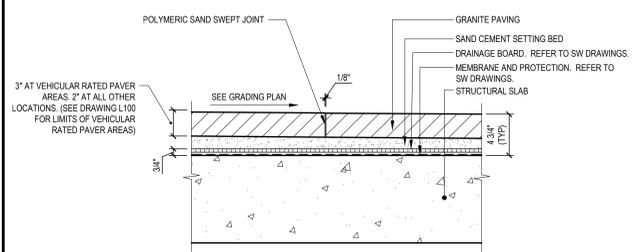
**A113**



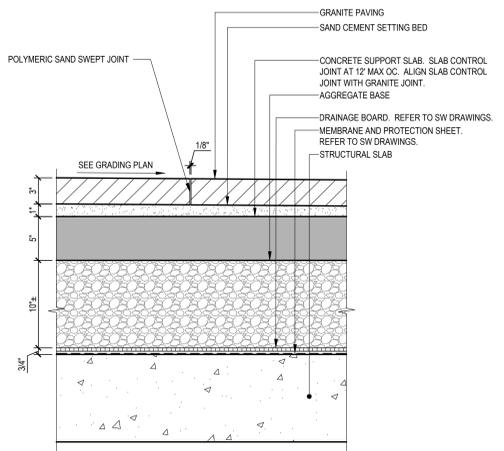
HAMILTON COUNTY RIVERFRONT PARKING AND INFRASTRUCTURE IMPROVEMENTS



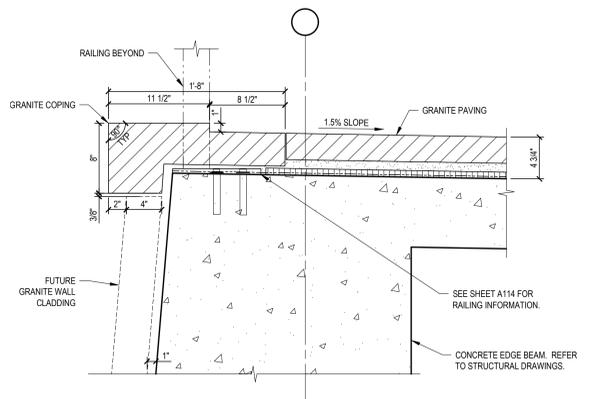
THP Limited, Inc. Cincinnati • Cleveland 100 East Eighth Street Cincinnati, Ohio 45202 Phone: 513.241.3222 www.thpltd.com



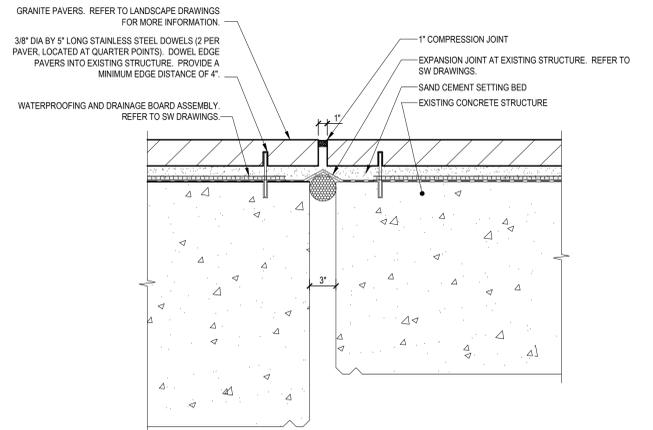
**1** PAVERS DIRECTLY ON STRUCTURAL SLAB  
**DETAIL**  
A115 1 1/2" = 1'-0"



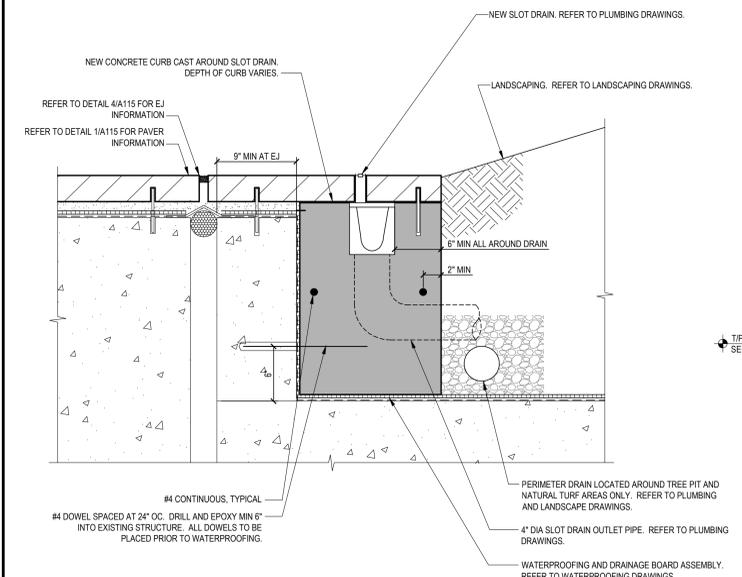
**2** PAVERS ELEVATED OVER STRUCTURAL SLAB  
**DETAIL**  
A115 1 1/2" = 1'-0"



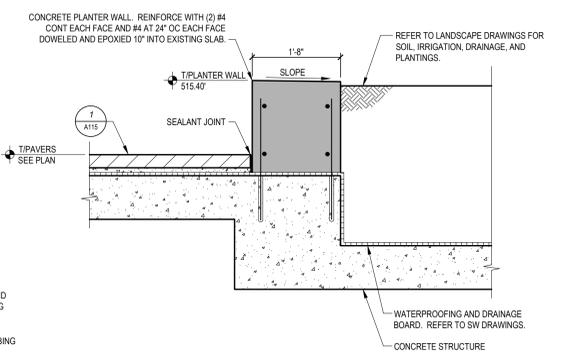
**3** COPING AT PERIMETER RAIL  
**DETAIL**  
A115 1 1/2" = 1'-0"



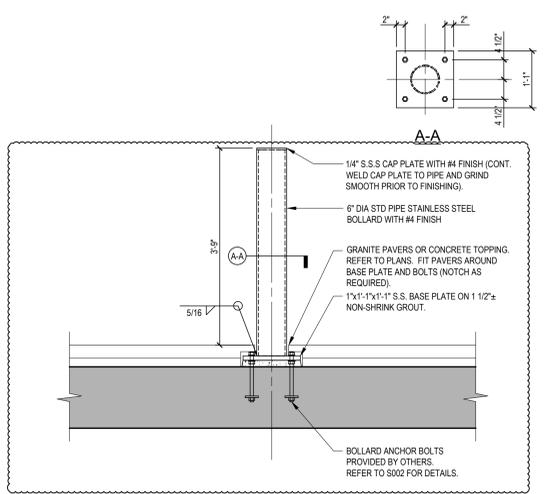
**4** PAVERS AT EXPANSION JOINT  
**DETAIL**  
A115 1 1/2" = 1'-0"



**5** PAVERS AT SLOT DRAIN  
**DETAIL**  
A115 1 1/2" = 1'-0"

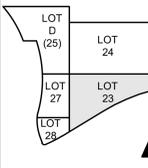


**6** UPPER RACE STREET PLANTER  
**DETAIL**  
A115 3/4" = 1'-0"



**7** BOLLARD AT RACE ST. AND PARK PLAZA  
**SECTION**  
A115 3/4" = 1'-0"

| ISSUE | NO. | DATE       | DESCRIPTION |
|-------|-----|------------|-------------|
|       | 1   | 10/15/2019 | ISSUE SET   |
|       | 2   | 02/02/2020 | ISSUE SET   |
|       | 3   | 06/02/2020 | ISSUE SET   |
|       | 4   | 01/22/2020 | ISSUE SET   |



DRAWN BY: L.C.G.  
ENGINEER: M.S.M.  
CHECKED BY: M.L.H.

**THE BANKS PHASE 3B**

LOT 23/27/28 GARAGE & RACE ST. TURNAROUND

DRAWING TITLE  
PAVING AND SITE DETAILS

JOB NUMBER: 98090.38 DATE: 01/31/2020  
DRAWING NUMBER:

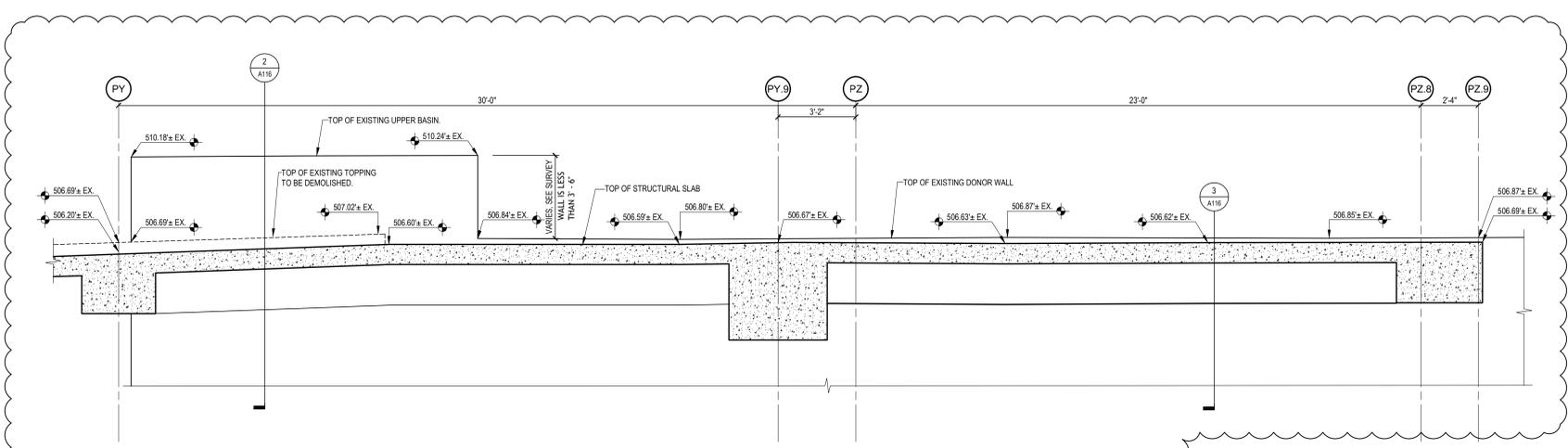
A115



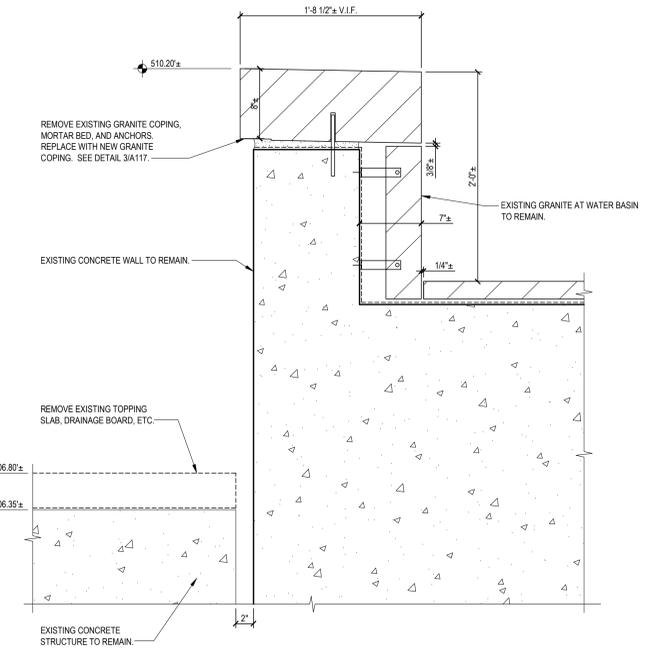
HAMILTON COUNTY  
RIVERFRONT PARKING  
AND INFRASTRUCTURE  
IMPROVEMENTS



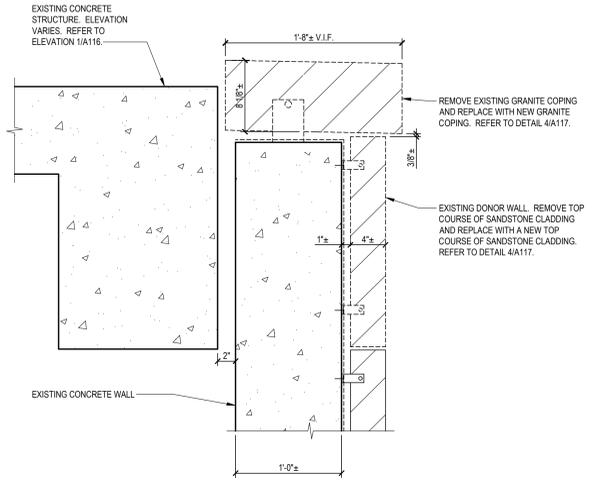
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100 East Eighth Street  
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Phone: 513.241.3222  
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1  
A116  
TOP OF EXISTING DONOR WALL AND ADJACENT EXISTING STRUCTURE  
ELEVATION  
3/8" = 1'-0"

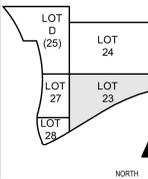


2  
A116  
EXISTING WALL AT UPPER BASIN  
DETAIL  
1 1/2" = 1'-0"



3  
A116  
EXISTING DONOR WALL  
DETAIL  
1 1/2" = 1'-0"

| ISSUE | NO. | DATE       | DESCRIPTION                    |
|-------|-----|------------|--------------------------------|
|       | 1   | 10/15/2019 | ISSUE PACKAGE #1 - SCOPING SET |
|       | 2   | 02/10/2020 | ISSUE PACKAGE #2               |
|       | 3   | 3/12/2020  | ISSUE PACKAGE #3 - ADDENDUM #2 |



DRAWN BY: L.C.G.  
ENGINEER: M.S.M.  
CHECKED BY: M.L.H.

THE BANKS  
PHASE 3B

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
DONOR WALL  
REPLACEMENT DETAILS

JOB NUMBER: 98090.38  
DATE: 01/31/2020

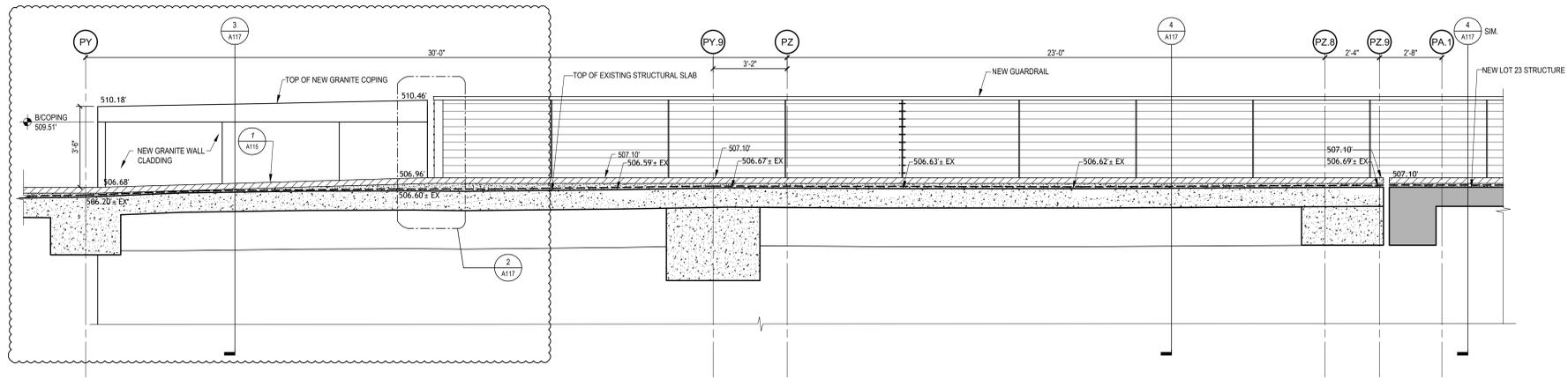
DRAWING NUMBER: A116



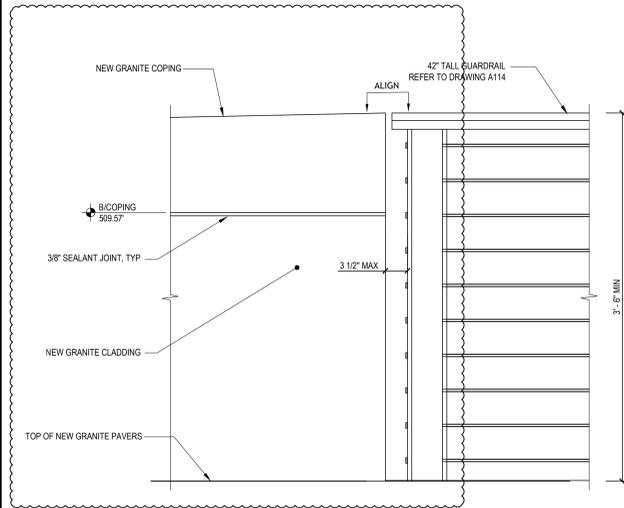
HAMILTON COUNTY  
RIVERFRONT PARKING  
AND INFRASTRUCTURE  
IMPROVEMENTS



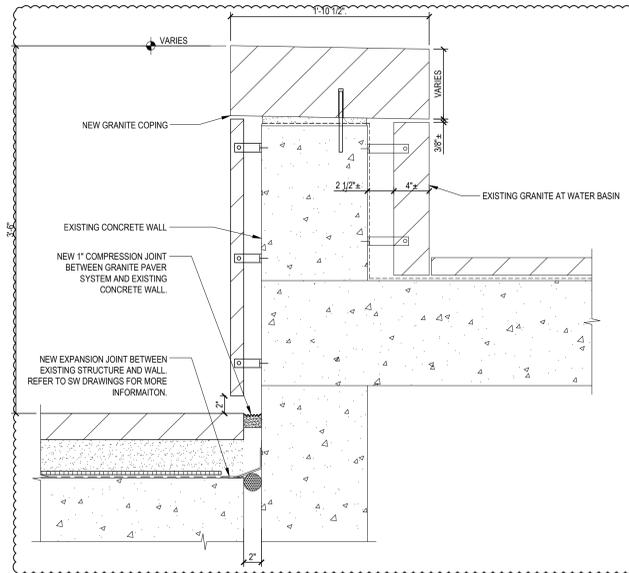
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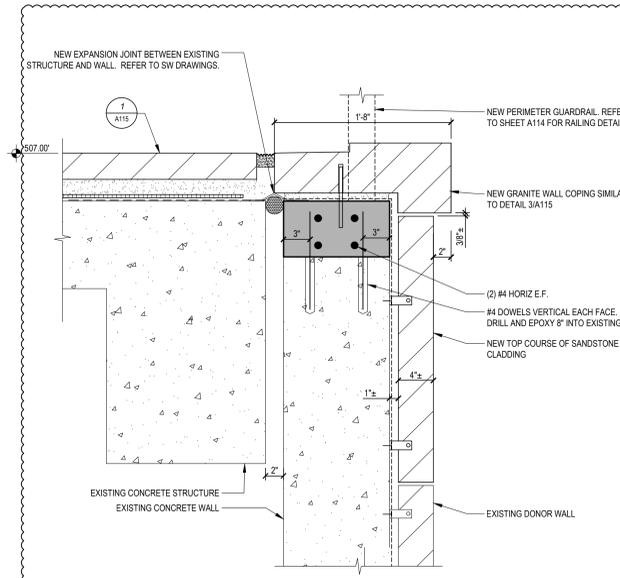
**1**  
A117  
**NEW DONOR WALL  
ELEVATION**  
3/8" = 1'-0"



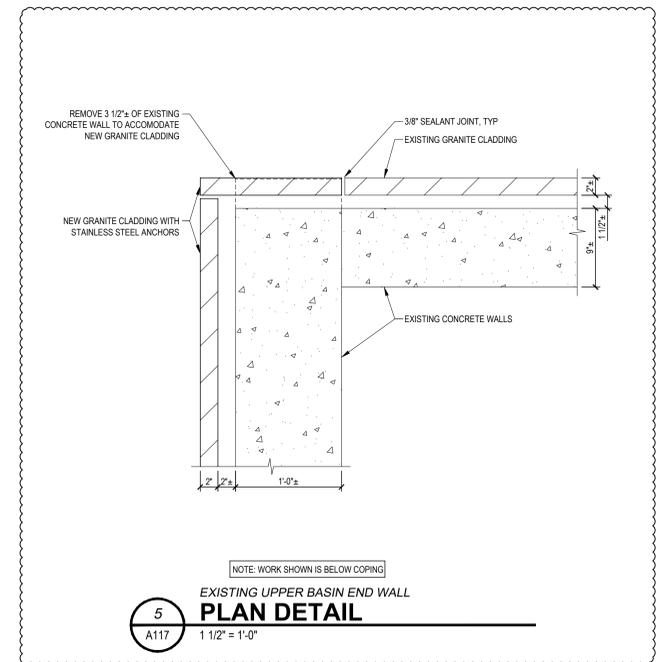
**2**  
A117  
**NEW RAILING AT WALL STEP  
DETAIL**  
1 1/2" = 1'-0"



**3**  
A117  
**UPPER BASIN WALL EXTENSION  
DETAIL**  
1 1/2" = 1'-0"



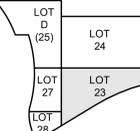
**4**  
A117  
**DONOR WALL EXTENSION AT EXISTING STRUCTURE  
DETAIL**  
1 1/2" = 1'-0"



**5**  
A117  
**EXISTING UPPER BASIN END WALL  
PLAN DETAIL**  
1 1/2" = 1'-0"

ISSUES

ISSUE NO. 2021/03/03 150 PACKAGE #8 3/22/2020 150 PACKAGE #8 - ADDENDUM #2



DRAWN BY: L.C.G.  
ENGINEER: M.S.M.  
CHECKED BY: M.L.H.

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
**DONOR WALL  
REPLACEMENT DETAILS**

JOB NUMBER 98090.38  
DATE  
DRAWING NUMBER

A117



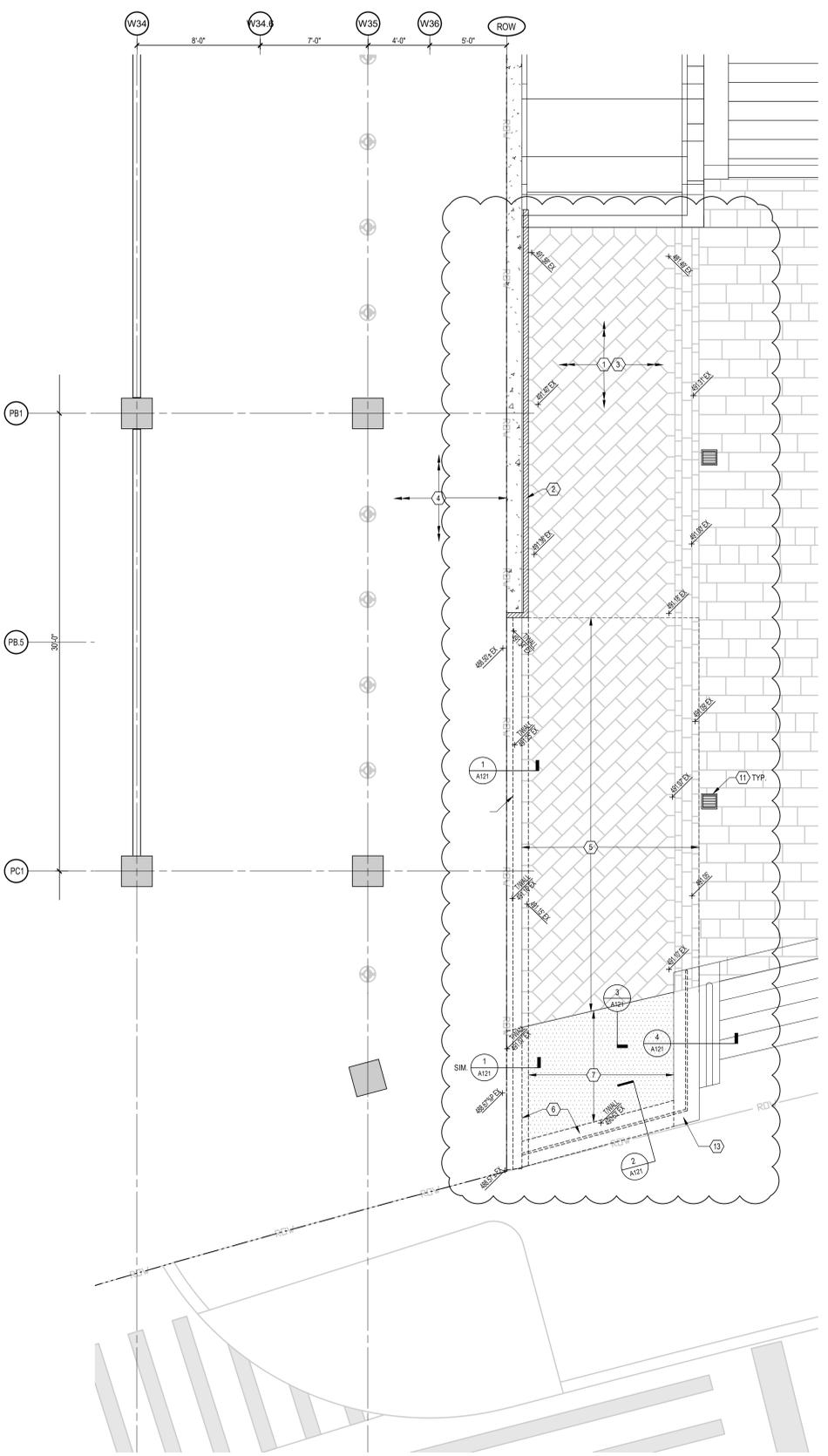
HAMILTON COUNTY  
RIVERFRONT PARKING  
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IMPROVEMENTS

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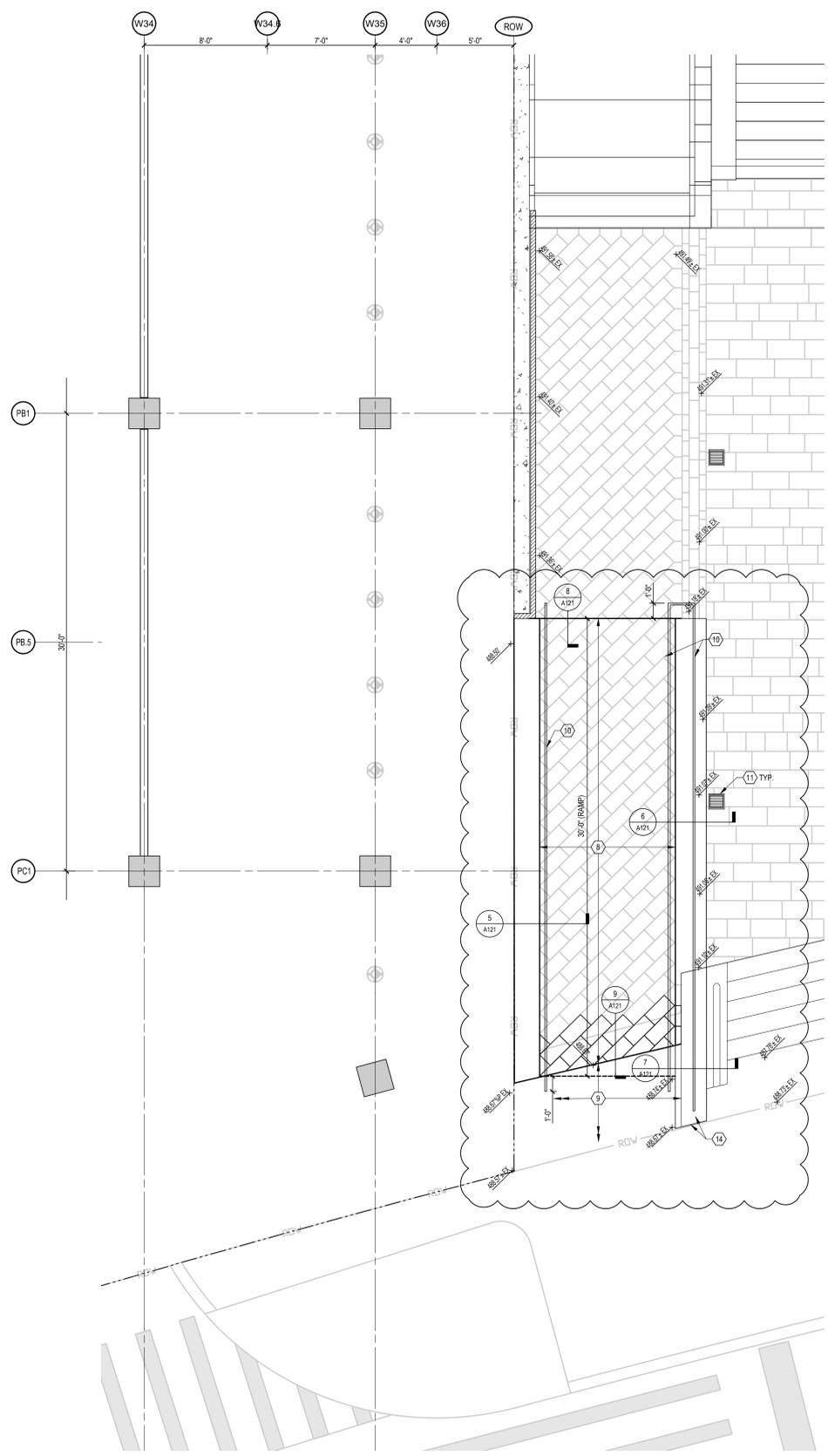
- LEGEND:**
- CONCRETE PAVING
  - CONCRETE PAVING CARPET
  - GRANITE
  - SPORTS TURF
  - NATURAL TURF
  - GROUND COVER
  - TIGRADING SPOT ELEVATION (U.N.O.)
  - VALLEY
  - RIDGE
  - AREA DRAIN
  - SLOT DRAIN
  - LIGHT TYPE 1
  - LIGHT TYPE 2
  - LIGHT TYPE 3
  - LIGHT TYPE 4
  - EXPANSION JOINT

**GENERAL NOTES:**  
A. REFER TO LANDSCAPE PLANS FOR PLANTINGS, SITE FURNISHINGS, AND JOINT/SCORING PATTERNS.

- DRAWING NOTES:**
1. EXISTING VINE STREET STAIR (LOT 22)
  2. EXISTING LOT 22 DONOR WALL
  3. EXISTING GRANITE PAVEMENT
  4. LOT 23 GARAGE
  5. REMOVE EXISTING GRANITE PAVEMENT, BASE AND SUB-BASE TO ALLOW FOR NEW RAMP. SALVAGE GRANITE PAVERS FOR REINSTALLATION ON NEW RAMP.
  6. REMOVE SECTION OF EXISTING SITE WALL.
  7. REMOVE EXISTING PLANTER.
  8. NEW RAMP WITH GRANITE PAVEMENT ON CONCRETE SUPPORT SLAB ON COMPACTED SUB-BASE. REUSE SALVAGED GRANITE PAVERS TO GREATEST EXTENT POSSIBLE. SUPPLEMENT WITH NEW GRANITE PAVERS TO MATCH EXISTING.
  9. NEW 12" CONCRETE PAVEMENT. POUR WITH NEW ADJACENT RAMP/CONCRETE PAVEMENT.
  10. NEW STAINLESS STEEL RAILINGS. REFER TO DETAIL 10A121.
  11. EXISTING AREA DRAIN TO REMAIN.
  12. REMOVE EXISTING GRANITE COPING AND EXISTING LEAN RAIL ON EAST PLANTER WALL.
  13. REMOVE EXISTING GRANITE COPING AND EXISTING LEAN RAIL ON EAST PLANTER WALL. PROVIDE NEW GRANITE CLADDING ON SOUTH AND WEST SIDES AND NEW GRANITE COPING.



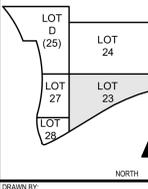
**1**  
A120 1/4" = 1'-0"  
**EXISTING CONDITIONS/DEMOLITION PLAN**



**2**  
A120 1/4" = 1'-0"  
**LOWER LEVEL (489) ENLARGED PLAN**



| ISSUE | NO. | DATE       | DESCRIPTION |
|-------|-----|------------|-------------|
|       | 1   | 10/15/2019 | ISSUE SET   |
|       | 2   | 10/22/2019 | ISSUE SET   |
|       | 1   | 10/17/2020 | ISSUE SET   |



DRAWN BY: L.C.G.  
ENGINEER: M.S.M.  
CHECKED BY: M.L.H.

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
**ENLARGED RAMP  
PLANS**

JOB NUMBER: 98090.38  
DATE: 01/31/2020  
DRAWING NUMBER:

A120







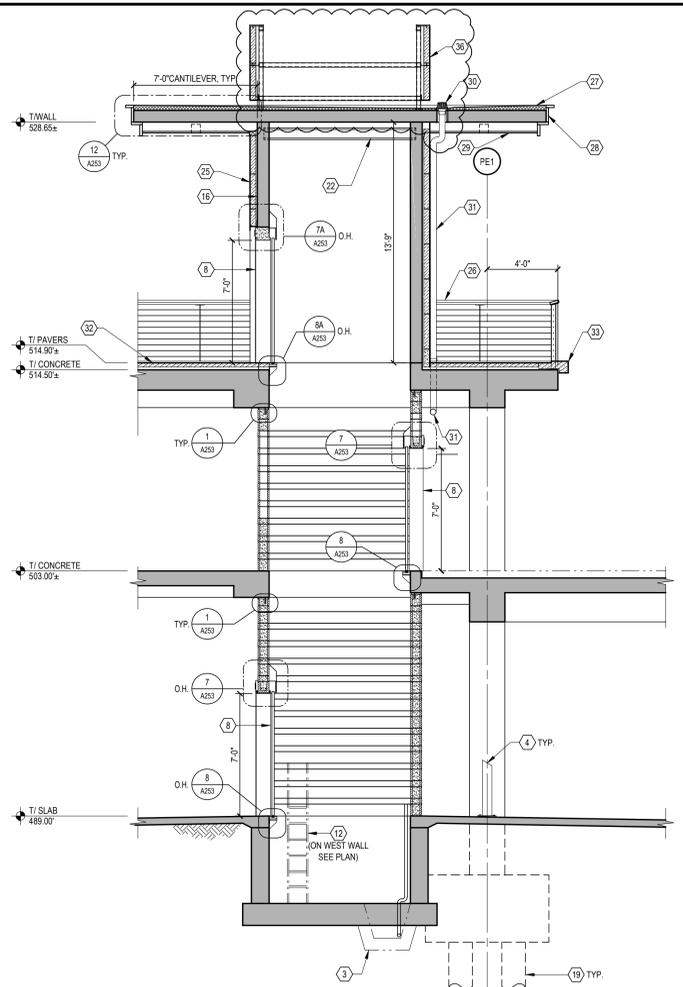
HAMILTON COUNTY  
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IMPROVEMENTS



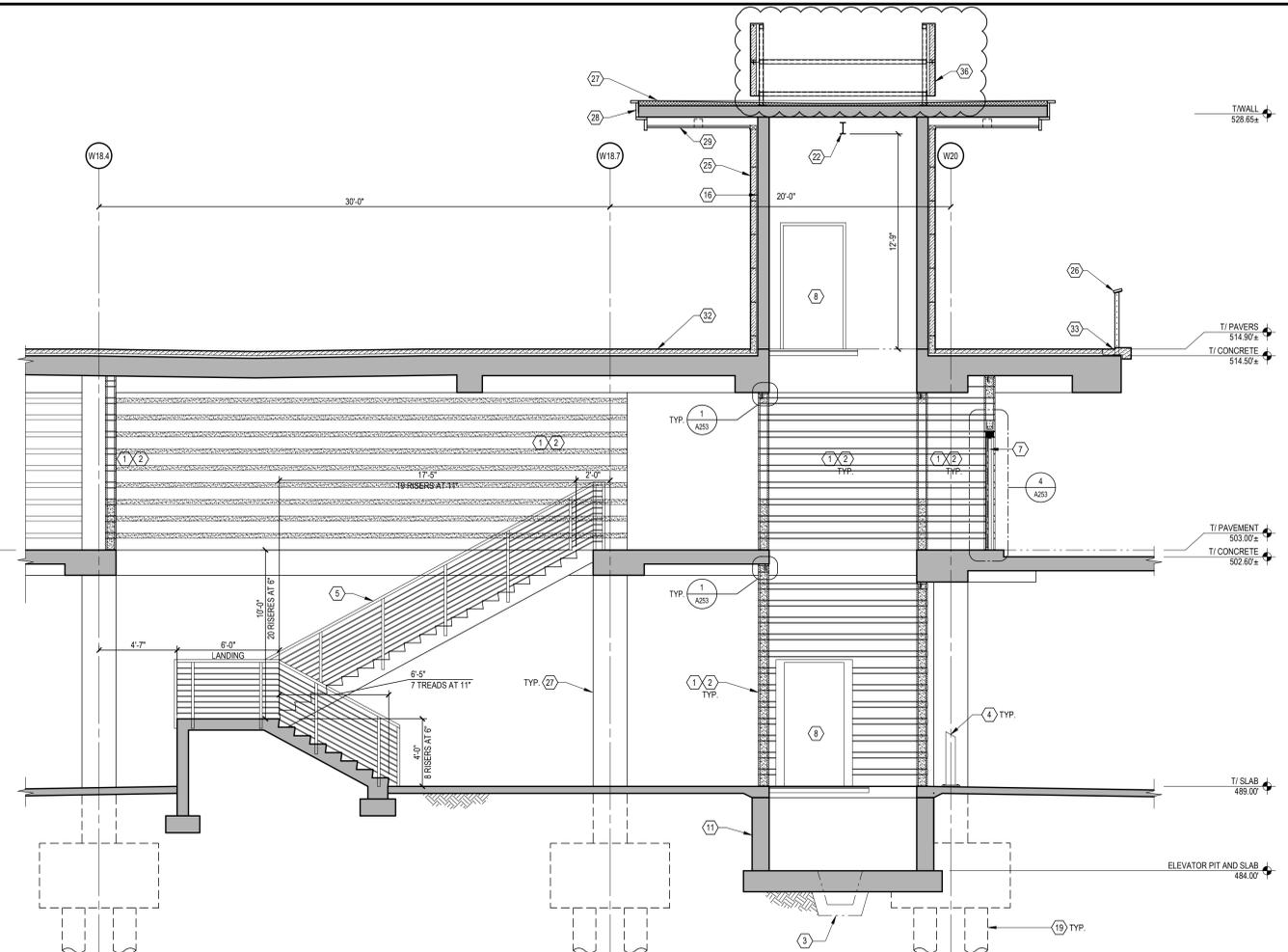
THP Limited, Inc.  
Consulting Engineers  
100 East Eighth Street  
Cincinnati, Ohio 45202  
Phone: (513) 241-3222  
Fax: (513) 241-2981

**DRAWING NOTES A250-A252:**

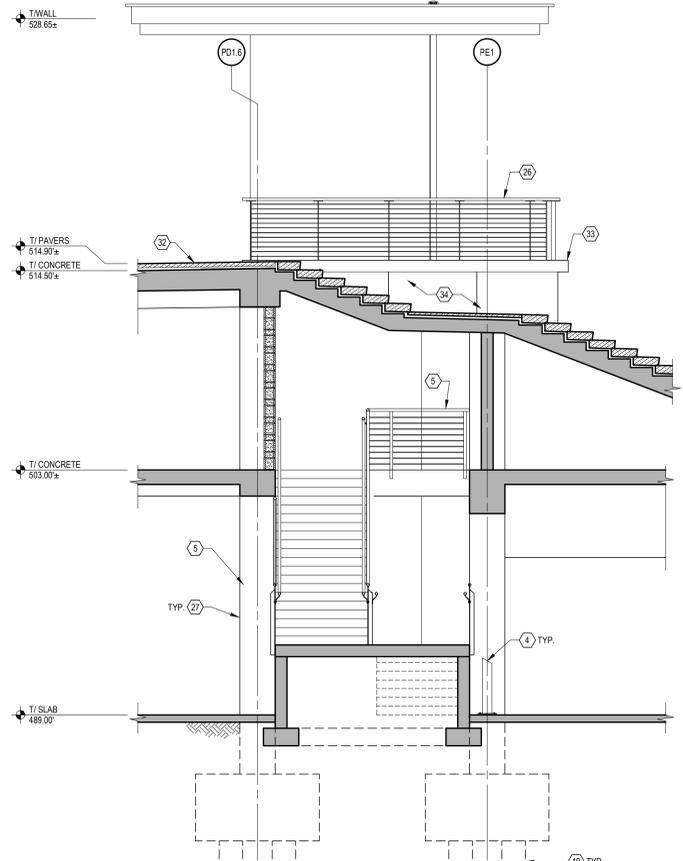
- 8" CONCRETE MASONRY UNIT (UNPAINTED UNLESS OTHERWISE). SEE 042000 AND ELEVATIONS (DWG. A252).
- 4" SPLIT-FACE CONCRETE MASONRY UNIT (UNPAINTED UNLESS NOTED OTHERWISE). SEE 042000 AND ELEVATIONS (DWG. A252).
- HUB DRAIN FOR ELEVATOR SUMP UNIT. SEE 142400 AND P-SERIES DRAWINGS.
- STAINLESS STEEL BOLLARD. SEE 057000.
- STAINLESS STEEL GUARDRAIL AND HANDRAIL. SEE 055000.
- PARKING SPACE OR PAVEMENT MARKINGS. SEE 321723.
- HOLLOW METAL DOOR AND FRAME. SEE 081100.
- STAINLESS STEEL ELEVATOR HOISTWAY DOORS, FRAMES, AND TRIM. SEE 142100 AND 057000.
- ELEVATOR CALL BUTTON STATION. SEE 142100.
- ELEVATOR HALL LANTERN. SEE 142100.
- ELEVATOR PIT.
- ELEVATOR PIT LADDER.
- COORDINATE LIGHT FIXTURE LOCATIONS AND QUANTITY WITH ELECTRICAL CONTRACTOR.
- PLAZA SLAB EDGE ABOVE.
- HOLLOW METAL DOORS BY OTHER.
- CONCRETE WALL (UNPAINTED UNLESS OTHERWISE).
- DRAINAGE RIDGE OR VALLEY IN SLAB. SEE A100 SERIES PLANS.
- FLOOR DRAIN. SEE P-SERIES DRAWINGS.
- PILES IN PREVIOUS BID PACKAGE.
- CONCRETE SLAB ON GRADE.
- FIRE RISER TO FIRE DEPARTMENT VALVE. SEE FP-SERIES.
- STEEL ELEVATOR HOIST BEAM. SEE 05500.
- FIRE EXTINGUISHER AND CABINET. SEE 104400.
- EXIT SIGN. SEE E-SERIES DRAWINGS.
- 4" THICK STONE VENEER - CHAT-SAWN SANDSTONE AND BROWN GRANITE BASE TO MATCH EXISTING. ANCHOR TO CONCRETE WALL WITH STAINLESS STEEL STRAP ANCHORS AT EACH COURSE.
- GUARD RAIL.
- SINGLE PLY MEMBRANE ROOFING ON TAPERED RIGID INSULATION.
- ZINC FASCIA.
- STAINED 3/4" X 4" T&G WOOD SOFFIT.
- ROOF DRAIN (BASIS OF DESIGN: ZURN Z-125).
- 4" DIA. PREFINISHED ALUMINUM DOWNSPOUT. CONNECT TO CAST IRON HUB TIED TO STORMWATER PIPING SYSTEM. SEE P-SERIES DRAWINGS.
- GRANITE PAVERS.
- GRANITE COPING. REFER TO DRAWING A115.
- GRANITE WALL CLADDING. REFER TO DRAWING A115.
- RECESSED LIGHT IN SPLIT. REFER TO ELECTRICAL DRAWINGS.
- 4" THICK STONE VENEER (CHAT-SAWN SANDSTONE) ON STAINLESS TUBE FRAME.
- RUN WOOD SOFFIT MEMBERS IN EAST-WEST DIRECTION (TYP).



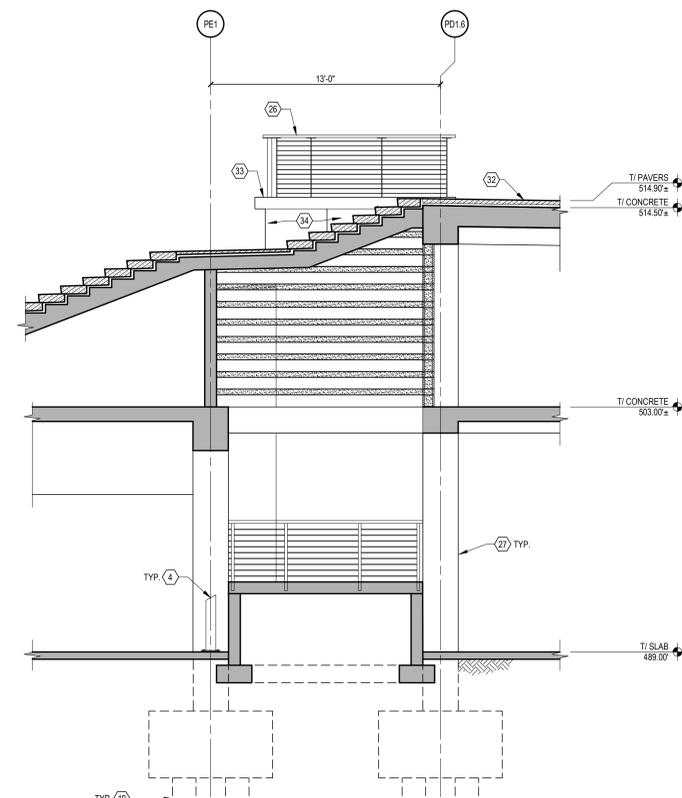
**1 SECTION**  
A251 1/4" = 1'-0"



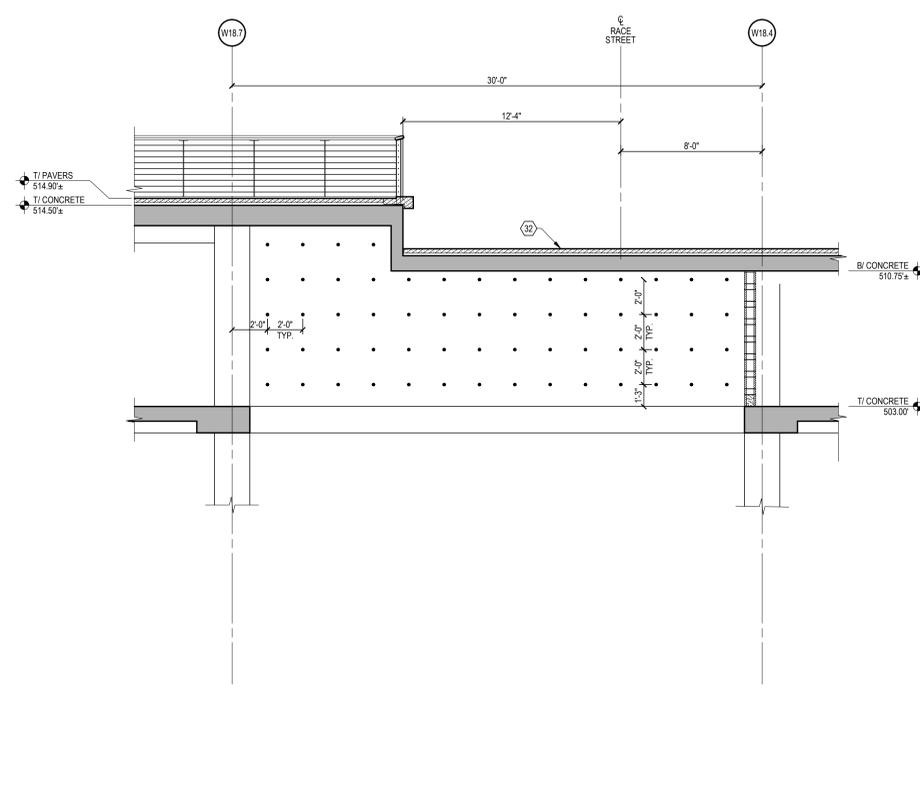
**2 SECTION**  
A251 1/4" = 1'-0"



**3 SECTION**  
A251 1/4" = 1'-0"

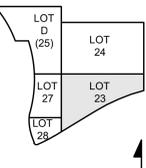


**4 SECTION**  
A251 1/4" = 1'-0"



**5 SECTION**  
A251 1/4" = 1'-0"

| NO. | DATE       | DESCRIPTION                  |
|-----|------------|------------------------------|
| 1   | 8/22/2019  | SCOPING SET                  |
| 2   | 8/22/2019  | BID PACKAGE #5               |
| 3   | 9/9/2019   | BP5 PERMIT SET               |
| 4   | 10/12/2019 | BID PACKAGE #6 - DD PIRING   |
| 5   | 10/12/2019 | BULLETIN #8                  |
| 6   | 10/12/2019 | BID PACKAGE #6 - SCOPING SET |
| 7   | 10/12/2019 | BID PACKAGE #6 - ADDENDUM #1 |
| 8   | 3/12/2020  | BID PACKAGE #6 - ADDENDUM #2 |



DRAWN BY: J.M.H.  
ENGINEER: M.S.M.  
CHECKED BY: M.L.H.

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
**LOT 23 STAIR AND  
ELEVATOR - SECTIONS**

JOB NUMBER: 98090.38  
DATE: 8/22/2019  
DRAWING NUMBER:

**A251**



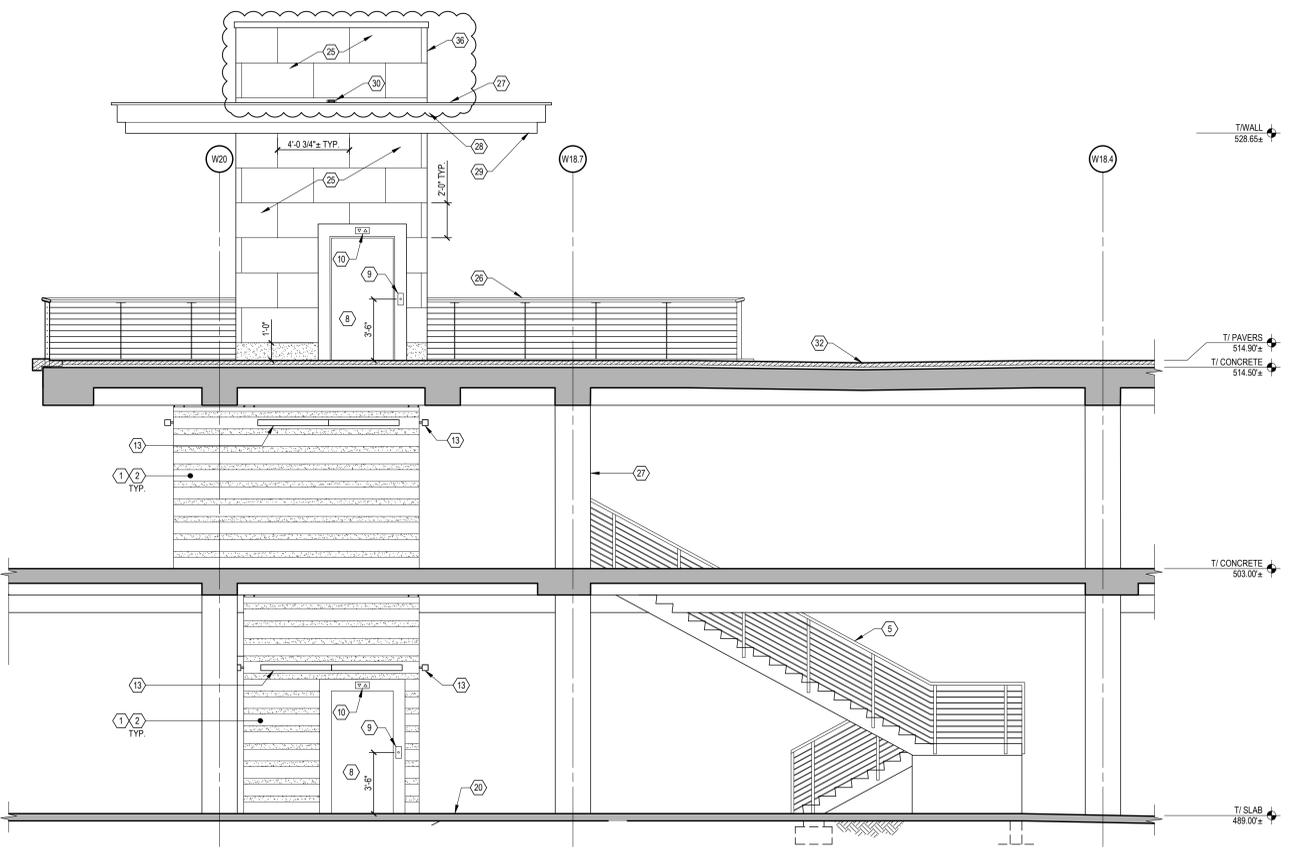
HAMILTON COUNTY  
RIVERFRONT PARKING  
AND INFRASTRUCTURE  
IMPROVEMENTS



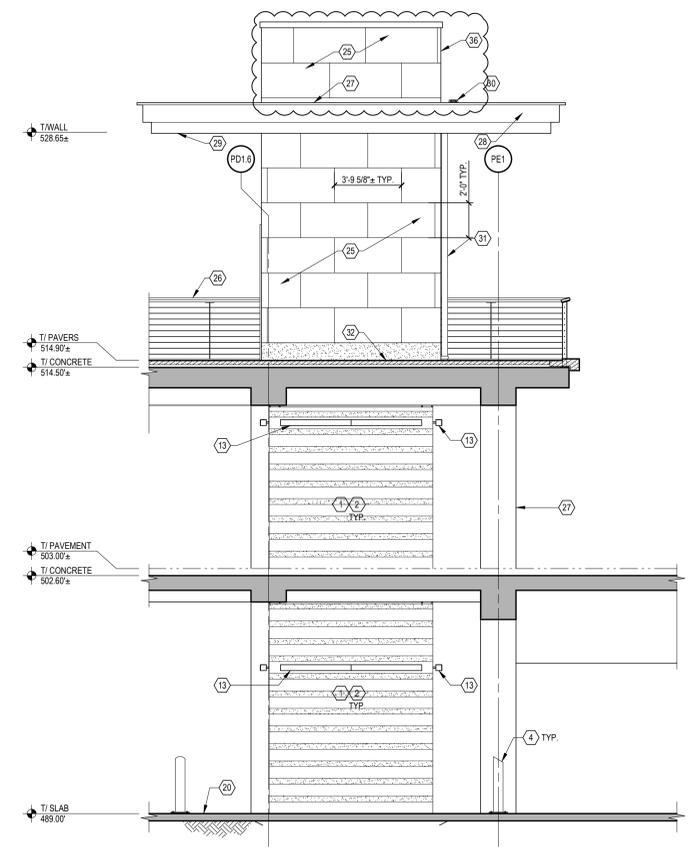
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Consulting Engineers  
100 East Eighth Street  
Cincinnati, Ohio 45202  
Phone: (513) 241-3222  
Fax: (513) 241-2981

**DRAWING NOTES A250-A252:**

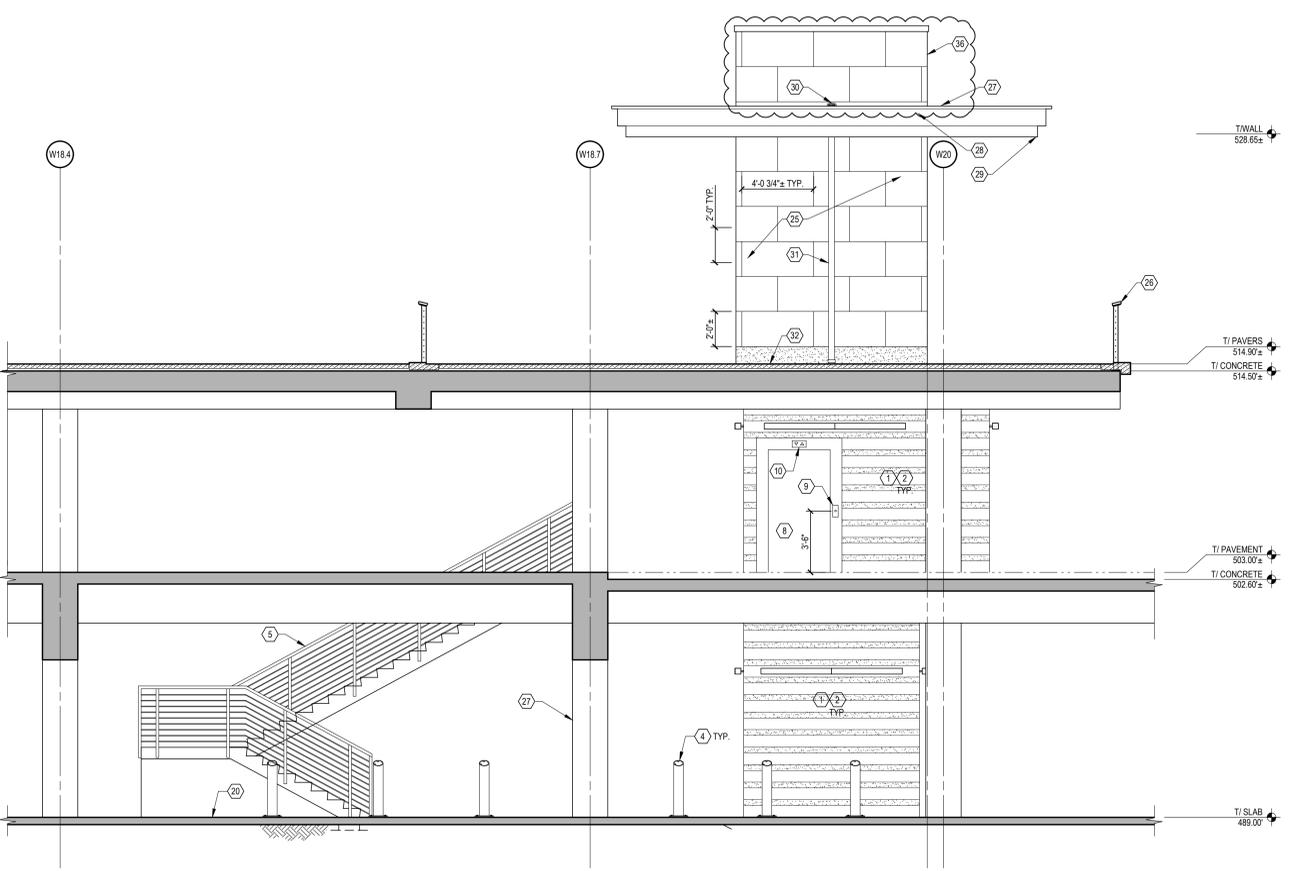
- 8" CONCRETE MASONRY UNIT (UNPAINTED UNLESS OTHERWISE). SEE 042000 AND ELEVATIONS (DWG. A252).
- 4" SPLIT-FACE CONCRETE MASONRY UNIT (UNPAINTED UNLESS NOTED OTHERWISE). SEE 042000 AND ELEVATIONS (DWG. A252).
- HUB DRAIN FOR ELEVATOR SLUMP UNIT. SEE 142400 AND P-SERIES DRAWINGS.
- STAINLESS STEEL GUARDRAIL AND HANDRAIL. SEE 057000.
- STAINLESS STEEL BOLLARD. SEE 057000.
- PARKING SPACE OR PAVEMENT MARKINGS. SEE 321723.
- HOLLOW METAL DOOR AND FRAME. SEE 081100.
- STAINLESS STEEL ELEVATOR HOISTWAY DOORS, FRAMES, AND TRIM. SEE 142100 AND 057000.
- ELEVATOR CALL BUTTON STATION. SEE 142100.
- ELEVATOR HALL LANTERN. SEE 142100.
- ELEVATOR PIT.
- ELEVATOR PIT LADDER.
- COORDINATE LIGHT FIXTURE, LOCATIONS AND QUANTITY WITH ELECTRICAL CONTRACTOR.
- PLAZA SLAB EDGE ABOVE.
- HOLLOW METAL DOORS BY OTHER.
- CONCRETE WALL (UNPAINTED UNLESS OTHERWISE).
- DRAINAGE RIDGE OR VALLEY IN SLAB. SEE A100 SERIES PLANS.
- FLOOR DRAIN. SEE P-SERIES DRAWINGS.
- PILES IN PREVIOUS BID PACKAGE.
- CONCRETE SLAB ON GRADE.
- FIRE RISER TO FIRE DEPARTMENT VALVE. SEE FP-SERIES.
- STEEL ELEVATOR HOIST BEAM. SEE 05500.
- FIRE EXTINGUISHER AND CABINET. SEE 104400.
- EXIT SIGN. SEE E-SERIES DRAWINGS.
- 4" THICK STONE VENEER - CHAT-SAWN SANDSTONE AND BROWN GRANITE BASE TO MATCH EXISTING. ANCHOR TO CONCRETE WALL WITH STAINLESS STEEL STRAP ANCHORS AT EACH COURSE.
- GUARD RAIL.
- SINGLE-PLY MEMBRANE ROOFING ON TAPERED RIGID INSULATION.
- ZINC FASCIA.
- STAINED 3/4" X 4" TAG WOOD SOFFIT.
- ROOF DRAIN (BASIS OF DESIGN: ZURN Z-125).
- 4" DIA. PREFINISHED ALUMINUM DOWNSPOUT. CONNECT TO CAST IRON HUB TIED TO STORMWATER PIPING SYSTEM. SEE P-SERIES DRAWINGS.
- GRANITE PAVERS.
- GRANITE COPING. REFER TO DRAWING A115.
- GRANITE WALL CLADDING. REFER TO DRAWING A115.
- 4" THICK STONE VENEER (CHAT-SAWN SANDSTONE) ON STAINLESS TUBE FRAME.
- RUN WOOD SOFFIT MEMBERS IN EAST-WEST DIRECTION (TYP.)



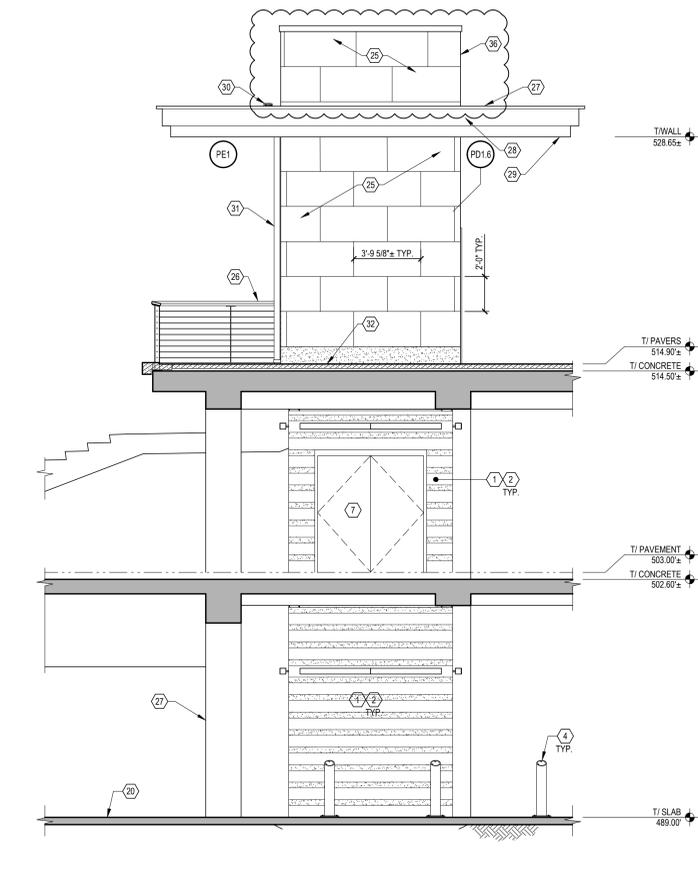
1 LOT 23 STAIR AND ELEVATOR  
**NORTH ELEVATION**  
1/4" = 1'-0"



2 LOT 23 STAIR AND ELEVATOR  
**WEST ELEVATION**  
1/4" = 1'-0"

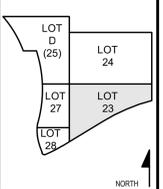


3 LOT 23 STAIR AND ELEVATOR  
**SOUTH ELEVATION**  
1/4" = 1'-0"



4 LOT 23 STAIR AND ELEVATOR  
**EAST ELEVATION**  
1/4" = 1'-0"

| ISSUE | NO. | DATE       | DESCRIPTION                   |
|-------|-----|------------|-------------------------------|
|       | 1   | 8/22/2019  | SCHEMATIC SET                 |
|       | 2   | 8/22/2019  | BID PACKAGE #5                |
|       | 3   | 9/9/2019   | BPS PERMIT SET                |
|       | 4   | 12/12/2019 | BID PACKAGE #6 - DD DRIVING   |
|       | 5   | 1/17/2020  | BID PACKAGE #6 - SCOPING SET  |
|       | 6   | 2/27/2020  | BID PACKAGE #6 - CONSTRUCTION |
|       | 7   | 3/12/2020  | BID PACKAGE #6 - ADDENDUM #2  |



DRAWN BY: J.M.H.  
ENGINEER: M.S.M.  
CHECKED BY: M.L.H.

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
LOT 23 STAIR AND  
ELEVATOR - ELEVATIONS

JOB NUMBER: 98090.38  
DATE: 8/22/2019  
DRAWING NUMBER:

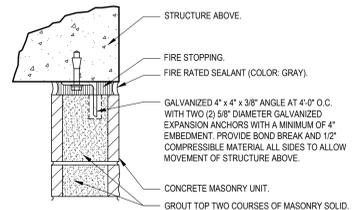
A252



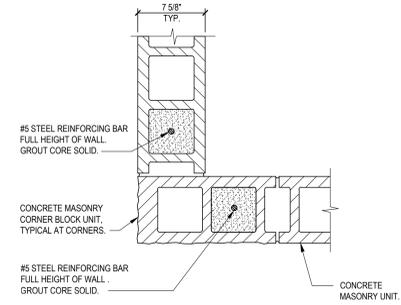
HAMILTON COUNTY  
RIVERFRONT PARKING  
AND INFRASTRUCTURE  
IMPROVEMENTS



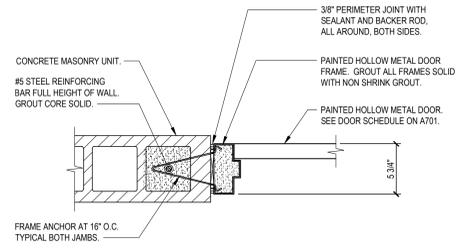
THP Limited, Inc.  
Consulting Engineers  
100 East Eighth Street  
Cincinnati, Ohio 45202  
Phone: (513) 241-3222  
Fax: (513) 241-2981



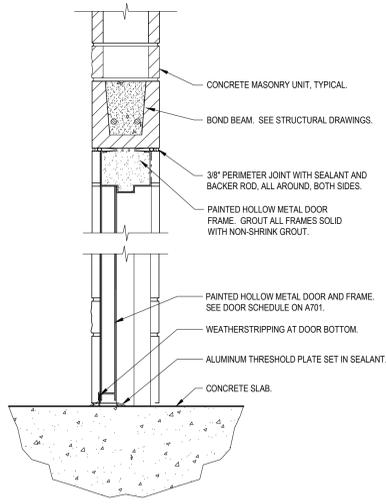
**1 DETAIL**  
A253 1-1/2" = 1'-0"



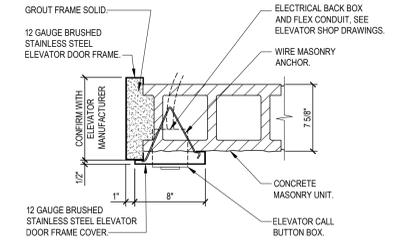
**2 DETAIL**  
A253 1-1/2" = 1'-0"



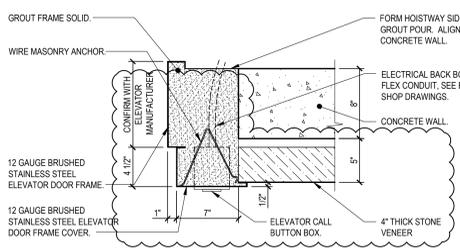
**3 DETAIL**  
A253 1-1/2" = 1'-0"



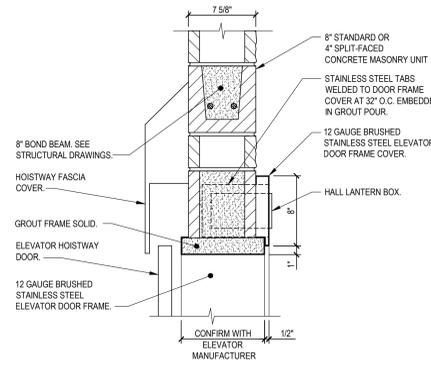
**4 DETAIL**  
A253 1-1/2" = 1'-0"



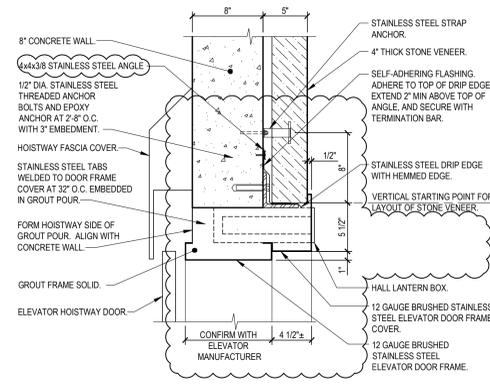
**5 DETAIL**  
A253 1-1/2" = 1'-0"



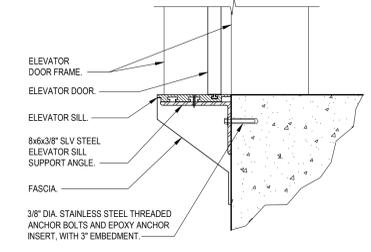
**6 DETAIL**  
A253 1-1/2" = 1'-0"



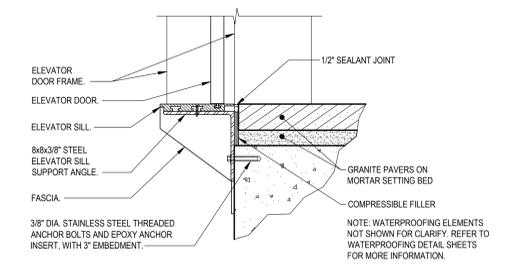
**7 DETAIL**  
A253 1-1/2" = 1'-0"



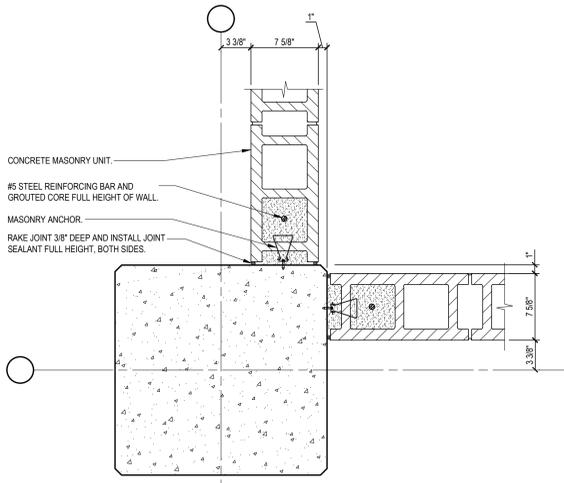
**7A DETAIL**  
A253 1-1/2" = 1'-0"



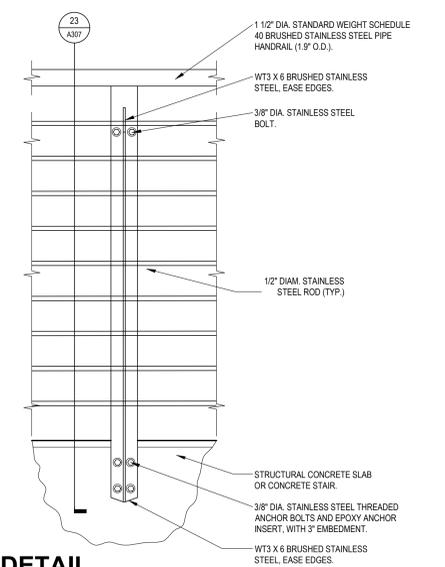
**8 DETAIL**  
A253 1-1/2" = 1'-0"



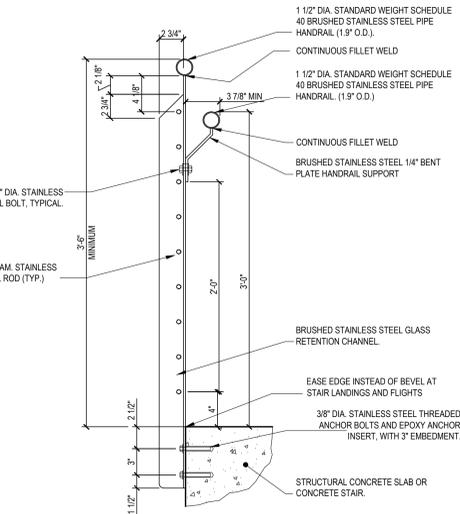
**8A DETAIL**  
A253 1-1/2" = 1'-0"



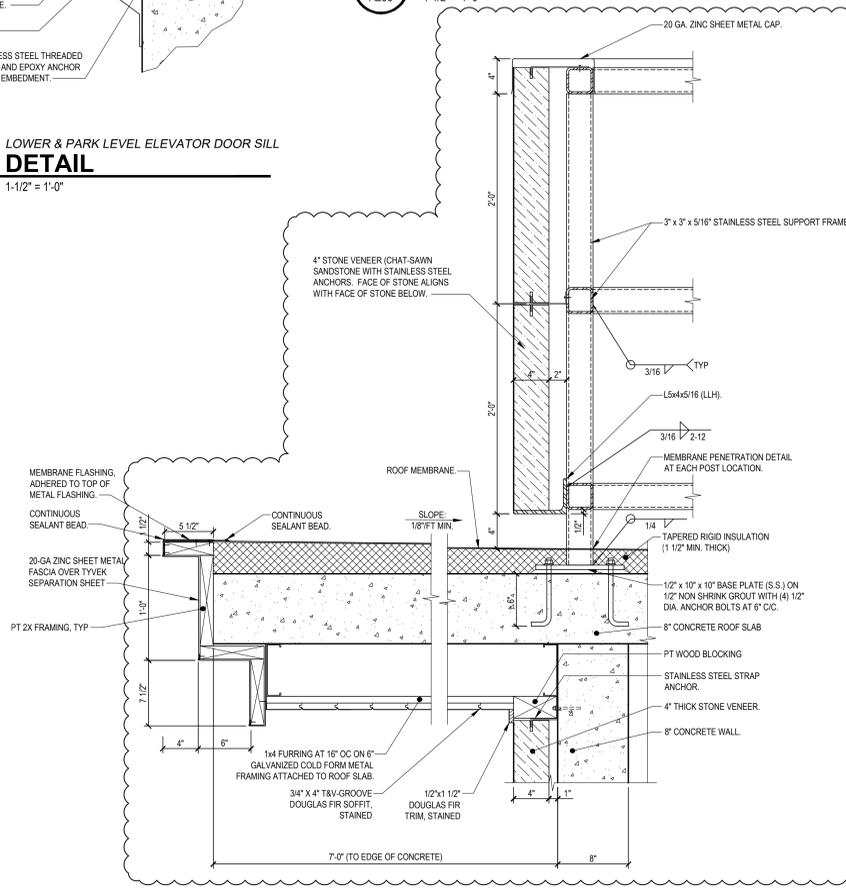
**9 DETAIL**  
A253 1-1/2" = 1'-0"



**10 DETAIL**  
A253 1-1/2" = 1'-0"

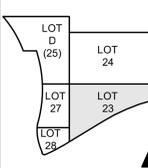


**11 DETAIL**  
A253 1-1/2" = 1'-0"



**12 DETAIL**  
A253 1-1/2" = 1'-0"

| NO. | DATE       | DESCRIPTION                  |
|-----|------------|------------------------------|
| 1   | 8/22/2019  | SCHEMATIC SET                |
| 2   | 8/22/2019  | BID PACKAGE #5               |
| 3   | 9/9/2019   | BPS PERMIT SET               |
| 4   | 12/12/2019 | BID PACKAGE #6 - DD DRIVING  |
| 5   | 3/8/2020   | BID PACKAGE #6 - ADDENDUM #1 |
| 6   | 3/12/2020  | BID PACKAGE #6 - ADDENDUM #2 |



DRAWN BY: J.M.H.  
ENGINEER: M.S.M.  
CHECKED BY: M.L.H.

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
**LOT 23 STAIR AND  
ELEVATOR - DETAILS**

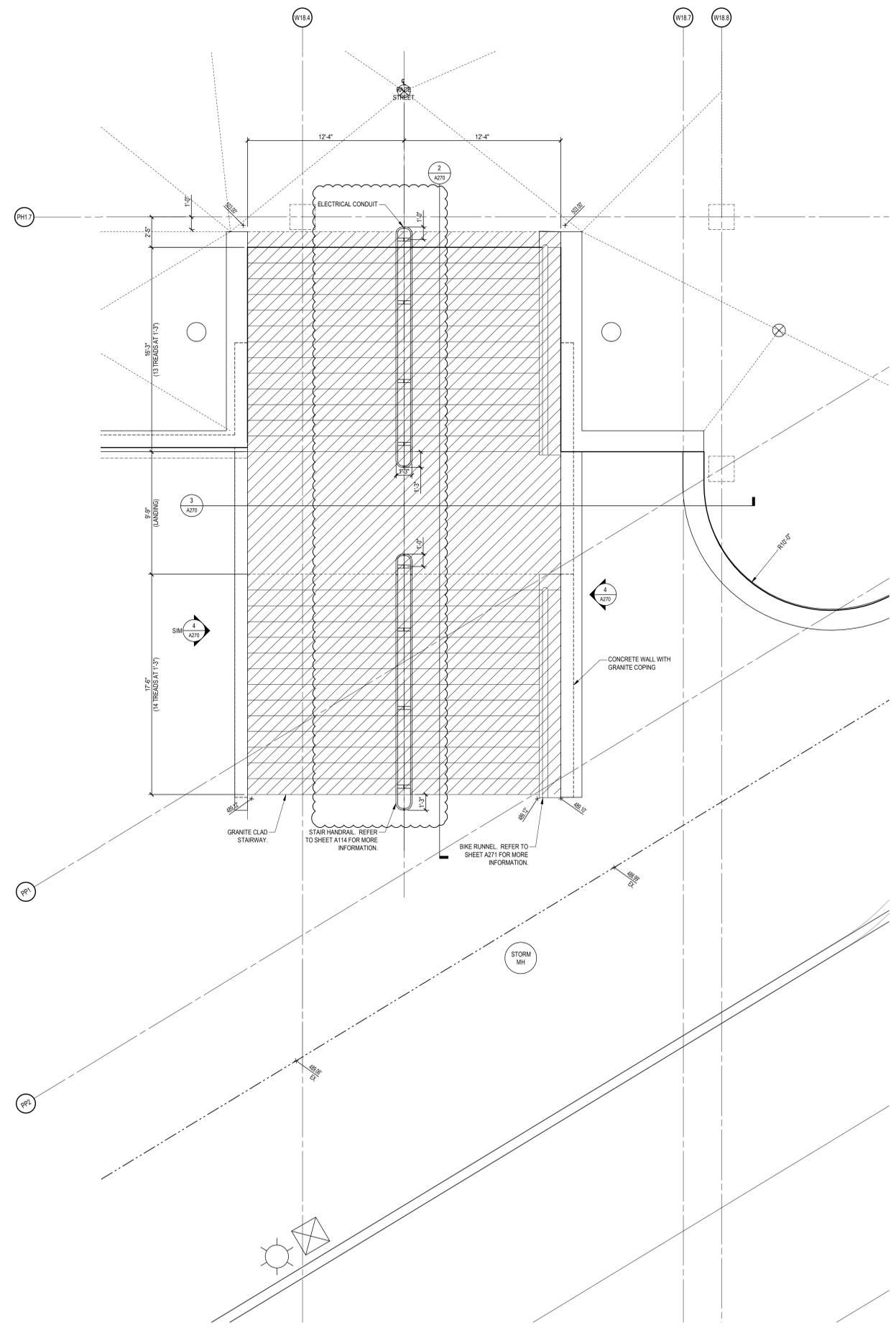
JOB NUMBER: 82090.38  
DATE: 8/22/2019  
DRAWING NUMBER:



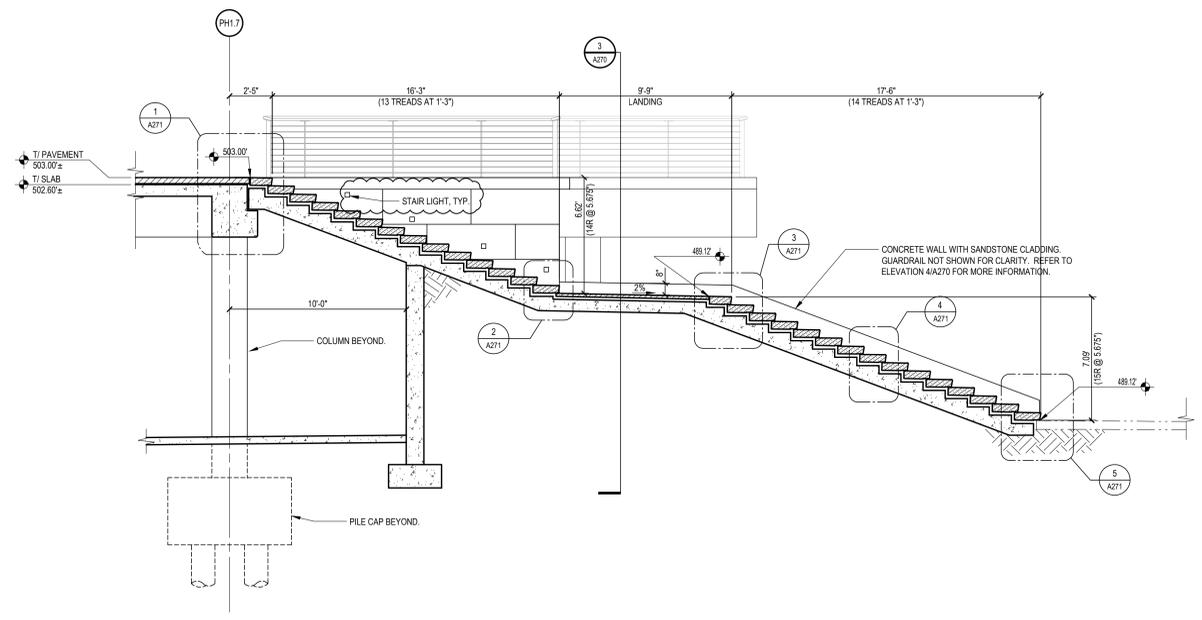
HAMILTON COUNTY RIVERFRONT PARKING AND INFRASTRUCTURE IMPROVEMENTS



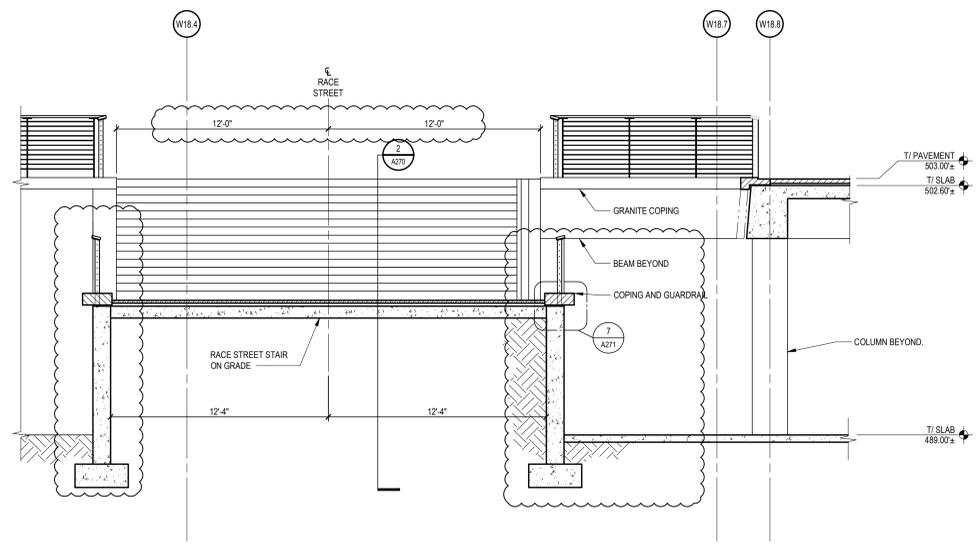
THP Limited, Inc. Consulting Engineers 100 East Eighth Street Cincinnati, Ohio 45202 Phone: (513) 241-3222 Fax: (513) 241-2981



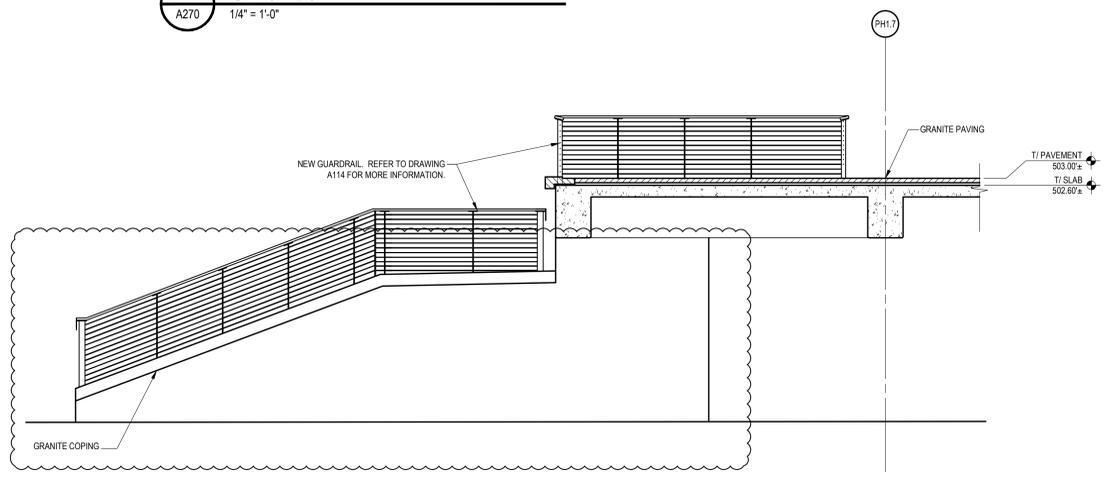
1 LOWER RACE STREET STAIR PLAN 1/4" = 1'-0"



2 LOWER RACE STREET STAIR SECTION 1/4" = 1'-0"

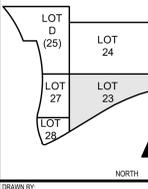


3 LOWER RACE STREET STAIR SECTION 1/4" = 1'-0"



4 LOWER RACE STREET STAIR ELEVATION 1/4" = 1'-0"

| NO. | DATE       | DESCRIPTION                  |
|-----|------------|------------------------------|
| 1   | 03/25/2015 | BID PACKAGE #1               |
| 2   | 04/08/2015 | BID PERMIT SET               |
| 3   | 02/20/2015 | ADDENDUM #2                  |
| 4   | 12/12/2015 | BID PACKAGE #6 - DD PRICING  |
| 5   | 10/12/2015 | BID PACKAGE #6 - SCOPING SET |
| 6   | 2/21/2020  | BID PACKAGE #6 - CLOSING SET |
| 7   | 10/20/2020 | BID PACKAGE #6 - CLOSING SET |
| 8   | 3/12/2020  | BID PACKAGE #6 - ADDENDUM #2 |



LOT D (25) LOT 24 LOT 27 LOT 23 LOT 28

DRAWN BY: P.A.B. ENGINEER: M.S.M. CHECKED BY: M.L.H.

THE BANKS PHASE 3B

LOT 23/27/28 GARAGE & RACE ST. TURNAROUND

DRAWING TITLE: LOWER RACE STREET STAIR AND PLANTER

JOB NUMBER: 98090.38 DATE: 8/22/2019 DRAWING NUMBER:

A270



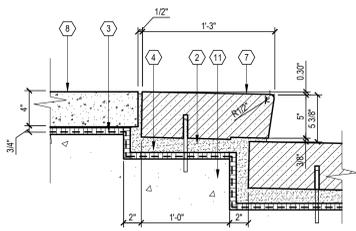
HAMILTON COUNTY  
RIVERFRONT PARKING  
AND INFRASTRUCTURE  
IMPROVEMENTS



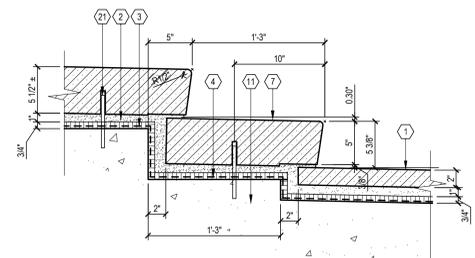
THP Limited, Inc.  
Consulting Engineers  
100 East Eighth Street  
Cincinnati, Ohio 45202  
Phone: (513) 241-3222  
Fax: (513) 241-2981

**DRAWING NOTES:**

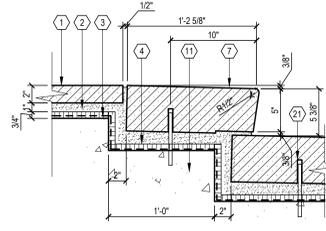
- 1 GRANITE PAVING
- 2 LATEX MODIFIED MORTAR SETTING BED
- 3 WATERPROOFING MEMBRANE AND PROTECTION SHEET
- 4 DRAINAGE BOARD ASSEMBLY
- 5 FILTER FABRIC
- 6 CONCRETE SUPPORT SLAB
- 7 GRANITE TREAD
- 8 CONCRETE TOPPING SLAB (SEE PLAN FOR JOINT PATTERN)
- 9 AGGREGATE BASE
- 10 PRECAST CONCRETE TREAD
- 11 STRUCTURAL SLAB
- 12 1/8" POLYMERIC SAND SWEEP JOINT
- 13 MULCH
- 14 PLANTING BED SOIL
- 15 PLANTING SOIL
- 16 ROOT BARRIER
- 17 RIGID INSULATION
- 18 S.S. ANCHOR
- 19 AIR SPACE
- 20 POLYSULFIDE JOINT CAULK
- 21 3/8" x 6" L. S.S. DOWELS, (2) PER PIECE LOCATED AT QTR. PTS.
- 22 PROVIDE COMPRESSION SEAL
- 23 PROVIDE 1/8" THICK STAINLESS STEEL BENT PLATE
- 24 PROVIDE ANCHOR WITH SELF TAPPING CONCRETE SCREWS
- 25 PROVIDE CLOSED CELL BACKER ROD
- 26 PROVIDE PREFORMED REINFORCING STRIP
- 27 PROVIDE NEW 16 GA. STAINLESS STEEL PROTECTION COVER TO BE ATTACHED AT ONE SIDE ONLY AS SHOWN
- 28 ADHERE NEW STAINLESS STEEL PROTECTION COVER TO PROTECTION BOARD WITH HOT ASPHALT SYSTEM PER MANUFACTURER'S RECOMMENDATIONS. INSTALL ADHESIVE ON THE HIGH SIDE OF THE JOINT
- 29 PROVIDE PROTECTION BOARD
- 30 WING COMPRESSION SEAL
- 31 PROVIDE CHAMFER RUSTICATION STRIP TO PROVIDE CLEAN JOINT LINE
- 32 PROVIDE CONTINUOUS TOOLED JOINT TO AID REMOVAL OF EDGE SECTION OF TOPPING FOR RAIL REMOVAL WATERPROOFING EXTENSION, ETC.
- 33 PROVIDE 1/2"W x 1/2"D TOOLED RECESS FOR TERMINATION OF WATERPROOFING
- 34 FUTURE GRANITE COPING
- 35 FUTURE SANDSTONE WALL CLADDING
- 36 SUPPORT ANGLE (IF NECESSARY)
- 37 2" EXPANSION JOINT BY OTHERS
- 38 GRANITE SEAT
- 39 GRANITE CLAD
- 40 WOOD SEAT
- 41 BROWN GRANITE, DIAMOND 10 FINISH
- 42 1/8" x 6" S.S. PIN EPOXY GROUT, (2) PER STONE
- 43 NEW PERIMETER GUARDRAIL. REFER TO SHEET A114 FOR RAILING DETAILS
- 44 NEW GRANITE WALL COPING
- 45 FUTURE SANDSTONE WALL CLADDING
- 46 NEW GRANITE PAVERS. REFER TO DETAIL 11A115.
- 47 EXISTING STAIR STRUCTURE
- 48 EXISTING CONCRETE WALL



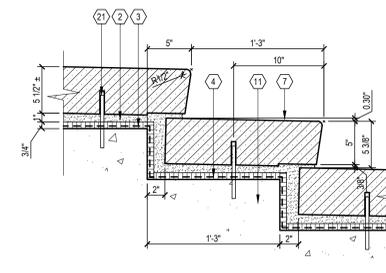
**1**  
A271  
**TOP OF RACE STREET STAIR  
DETAIL**  
1 1/2" = 1'-0"



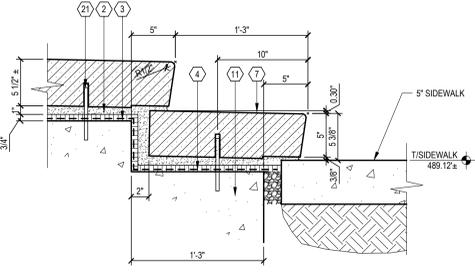
**2**  
A271  
**TOP OF RACE STREET STAIR LANDING  
DETAIL**  
1 1/2" = 1'-0"



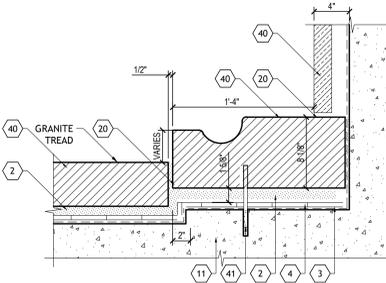
**3**  
A271  
**BOTTOM OF RACE STREET STAIR LANDING  
DETAIL**  
1 1/2" = 1'-0"



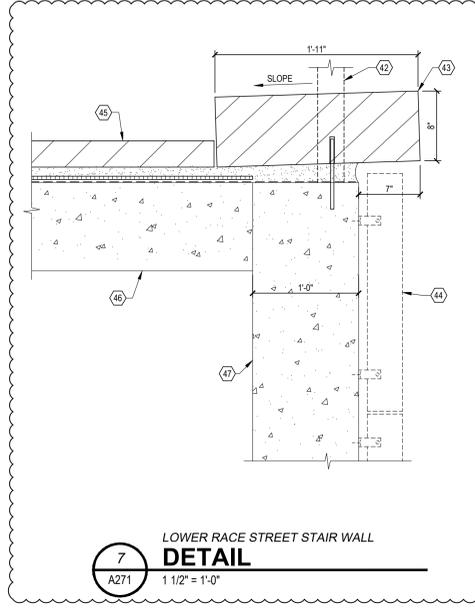
**4**  
A271  
**RACE STREET STAIR TREAD  
DETAIL**  
1 1/2" = 1'-0"



**5**  
A271  
**BOTTOM OF RACE STREET STAIR  
DETAIL**  
1 1/2" = 1'-0"

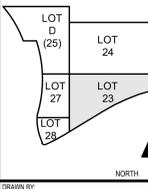


**6**  
A271  
**BIKE RUNNEL  
DETAIL**  
1 1/2" = 1'-0"



**7**  
A271  
**LOWER RACE STREET STAIR WALL  
DETAIL**  
1 1/2" = 1'-0"

| NO. | DATE       | DESCRIPTION                   |
|-----|------------|-------------------------------|
| 1   | 8/22/2019  | BID PACKAGE #1                |
| 2   | 9/26/2019  | BID PERMIT SET                |
| 3   | 9/26/2019  | ADDENDUM #1                   |
| 4   | 12/12/2019 | BID PACKAGE #1 - DD PRICING   |
| 5   | 1/17/2020  | BID PACKAGE #1 - SCOPING SET  |
| 6   | 2/27/2020  | BID PACKAGE #1 - CONSTRUCTION |
| 7   | 3/12/2020  | BID PACKAGE #1 - ADDENDUM #2  |



DRAWN BY: J.M.H.  
ENGINEER: M.S.M.  
CHECKED BY: M.L.H.

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
**LOWER RACE STREET  
STAIR AND PLANTER  
DETAILS**

JOB NUMBER: 98090.38  
DATE: 8/22/2019  
DRAWING NUMBER:



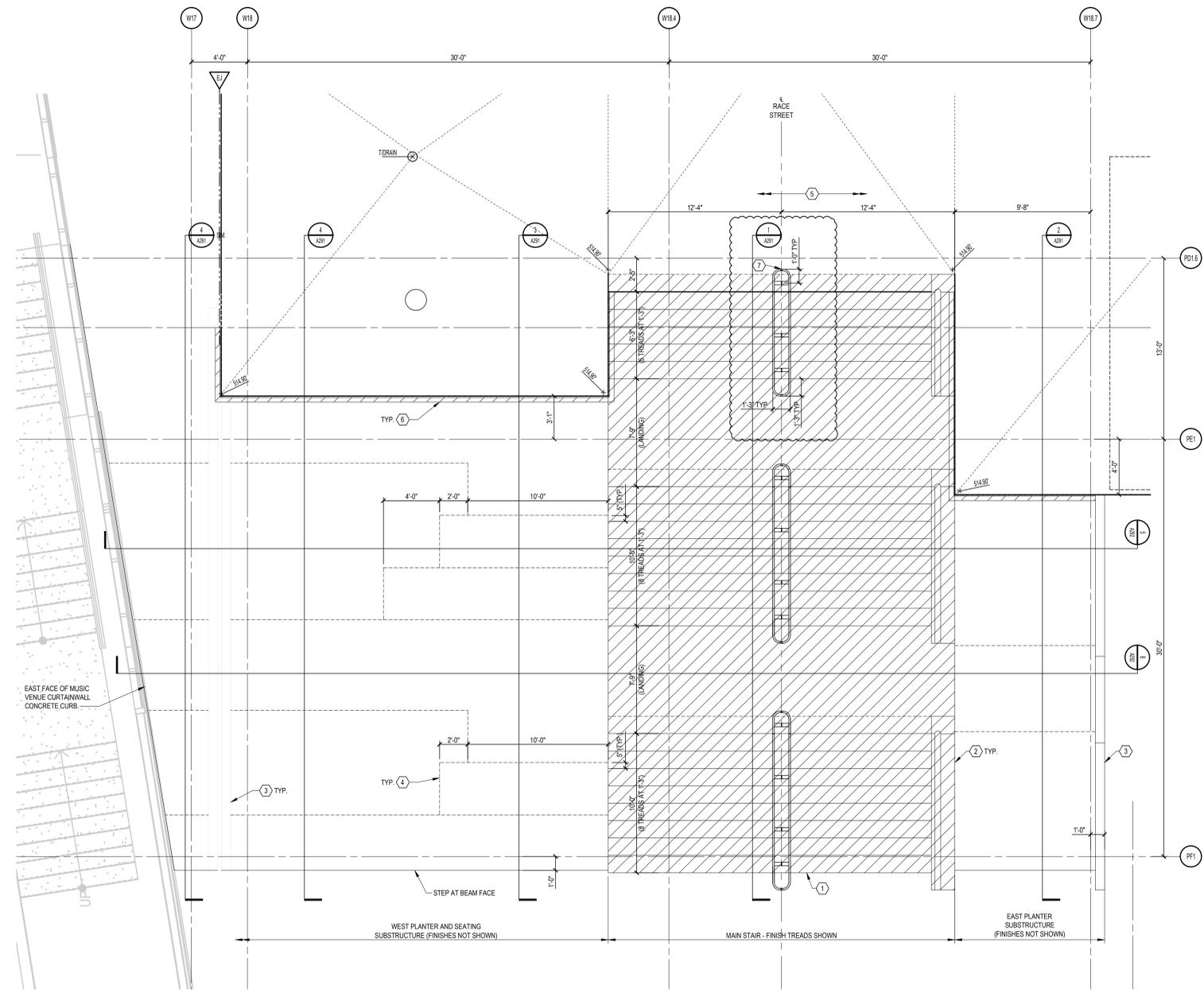
HAMILTON COUNTY  
RIVERFRONT PARKING  
AND INFRASTRUCTURE  
IMPROVEMENTS



THP Limited, Inc.  
Consulting Engineers  
100 East Eighth Street  
Cincinnati, Ohio 45202  
Phone: (513) 241-3222  
Fax: (513) 241-2981

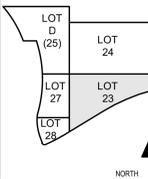
- LEGEND:**
- GRANITE
  - EXISTING COLUMNWALL
  - NEW COLUMNWALL
  - EXPANSION JOINT
  - T/CONCRETE SPOT ELEVATIONS
  - CRG = CENTRAL RIVERFRONT GARAGE
  - E = ELEVATOR
  - EX = EXISTING
  - ROW = RIGHT-OF-WAY
  - OB = OVERBUILD

- DRAWING NOTES:**
1. GRANITE-CLAD STAIRWAY AND HANDRAIL. REFER TO SHEETS A293 AND A114 FOR MORE INFORMATION.
  2. BIKE RUNNEL. REFER TO SHEET A293 FOR MORE INFORMATION.
  3. PLANTER END WALL AND GUARDRAIL. REFER TO SHEET A114 FOR GUARDRAIL INFORMATION.
  4. CONCRETE SUBSTRUCTURE FOR FUTURE SEATING.
  5. PLAZA AT TOP OF STAIRS. REFER TO DRAWING A103B AND DETAILS ON SHEET A115.
  6. NEW GRANITE WALL CLADDING. REFER TO SECTIONS ON A291A/292 AND DETAILS ON SHEET A115.



1 UPPER RACE STREET STAIR AND PLANTER  
A290 PLAN  
1/4" = 1'-0"

| ISSUE | NO. | DATE       | DESCRIPTION           |
|-------|-----|------------|-----------------------|
|       | 1   | 02/22/2019 | ISSUED FOR PERMIT SET |
|       | 2   | 08/05/2019 | ISSUED FOR PERMIT SET |
|       | 3   | 02/22/2019 | ADDENDUM #1           |
|       | 4   | 12/12/2019 | ADDENDUM #2           |
|       | 5   | 12/12/2019 | ADDENDUM #3           |
|       | 6   | 12/12/2019 | ADDENDUM #4           |
|       | 7   | 03/02/2020 | ADDENDUM #5           |
|       | 8   | 03/02/2020 | ADDENDUM #6           |
|       | 9   | 03/02/2020 | ADDENDUM #7           |
|       | 10  | 03/02/2020 | ADDENDUM #8           |



DRAWN BY: P.A.B.  
ENGINEER: M.S.M.  
CHECKED BY: M.L.H.

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
UPPER RACE STREET  
STAIR AND PLANTER

JOB NUMBER: 98090.38  
DATE: 8/22/2019  
DRAWING NUMBER:

A290





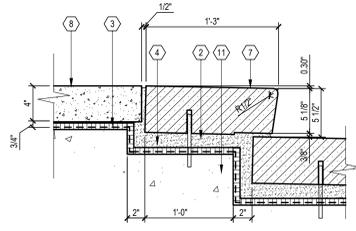
HAMILTON COUNTY  
RIVERFRONT PARKING  
AND INFRASTRUCTURE  
IMPROVEMENTS



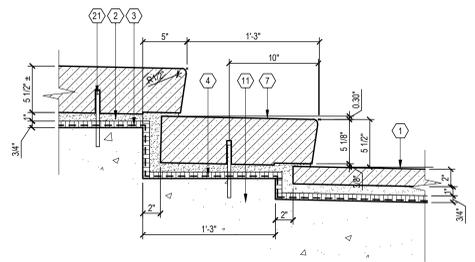
THP Limited, Inc.  
Consulting Engineers  
100 East Eighth Street  
Cincinnati, Ohio 45202  
Phone: (513) 241-3222  
Fax: (513) 241-2981

**DRAWING NOTES:**

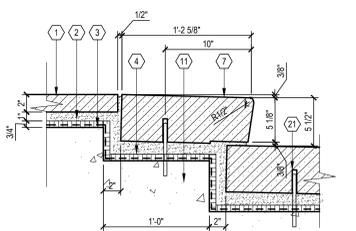
- 1 GRANITE PAVING
- 2 LATEX MODIFIED MORTAR SETTING BED
- 3 WATERPROOFING MEMBRANE AND PROTECTION SHEET
- 4 DRAINAGE BOARD ASSEMBLY
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- 20 POLYSULFIDE JOINT CAULK
- 21 3/8" x 6" L.S.S. DOWELS, (2) PER PIECE LOCATED AT QTR. PTS.
- 22 PROVIDE COMPRESSION SEAL.
- 23 PROVIDE 1/8" THICK STAINLESS STEEL BENT PLATE
- 24 PROVIDE ANCHOR WITH SELF TAPPING CONCRETE SCREWS
- 25 PROVIDE CLOSED CELL BACKER ROD
- 26 PROVIDE PREFORMED REINFORCING STRIP
- 27 PROVIDE NEW 16 GA. STAINLESS STEEL PROTECTION COVER TO BE ATTACHED AT ONE SIDE ONLY AS SHOWN
- 28 ADHERE NEW STAINLESS STEEL PROTECTION COVER TO PROTECTION BOARD WITH HOT ASPHALT SYSTEM PER MANUFACTURER'S RECOMMENDATIONS. INSTALL ADHESIVE ON THE HIGH SIDE OF THE JOINT
- 29 PROVIDE PROTECTION BOARD
- 30 WING COMPRESSION SEAL
- 31 PROVIDE CHAMFER RUSTICATION STRIP TO PROVIDE CLEAN JOINT LINE
- 32 PROVIDE CONTINUOUS TOOLED JOINT TO AID REMOVAL OF EDGE SECTION OF TOPPING FOR RAIL REMOVAL. WATERPROOFING EXTENSION, ETC.
- 33 PROVIDE 1/2" x 1/2" TOOLED RECESS FOR TERMINATION OF WATERPROOFING
- 34 FUTURE GRANITE COPING
- 35 FUTURE SANDSTONE WALL CLADDING
- 36 SUPPORT ANGLE (IF NECESSARY)
- 37 2" EXPANSION JOINT BY OTHERS
- 38 GRANITE SEAT
- 39 GRANITE CLAD
- 40 WOOD SEAT
- 41 BROWN GRANITE, DIAMOND 10 FINISH
- 42 1/8" x 6" S.S. PIN, EPOXY GROUT, (2) PER STONE
- 43 PLANTING SOIL
- 44 NEW PERIMETER GUARDRAIL. REFER TO SHEET A114 FOR RAILING DETAILS.
- 45 NEW GRANITE WALL COPING.
- 46 FUTURE STONE CLADDING.
- 47 PLANTER SOIL. REFER TO LANDSCAPE DRAWINGS FOR MORE INFORMATION.
- 48 EXISTING PLANTER STRUCTURE
- 49 EXISTING CONCRETE WALL



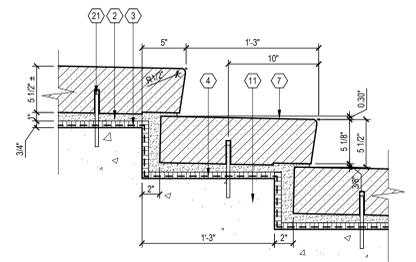
**1**  
TOP OF RACE STREET STAIR  
**DETAIL**  
A293 1 1/2" = 1'-0"



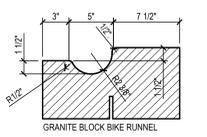
**2**  
TOP OF RACE STREET STAIR LANDING  
**DETAIL**  
A293 1 1/2" = 1'-0"



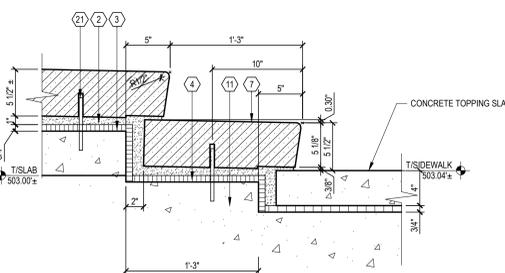
**3**  
BOTTOM OF RACE STREET STAIR LANDING  
**DETAIL**  
A293 1 1/2" = 1'-0"



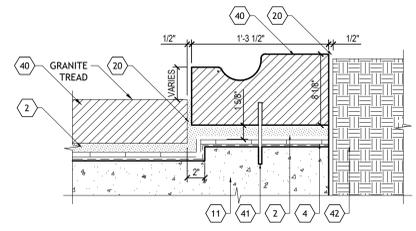
**4**  
RACE STREET STAIR TREAD  
**DETAIL**  
A293 1 1/2" = 1'-0"



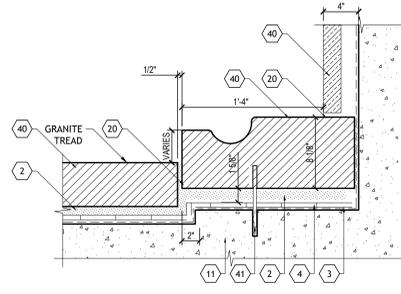
GRANITE BLOCK BIKE RUNNEL



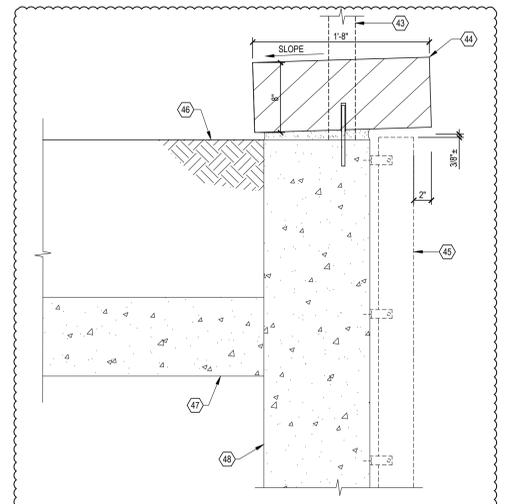
**5**  
BOTTOM OF RACE STREET STAIR  
**DETAIL**  
A293 1 1/2" = 1'-0"



**6**  
BIKE RUNNEL AT PLANTING  
**DETAIL**  
A293 1 1/2" = 1'-0"

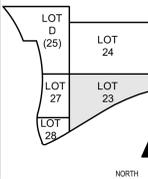


**7**  
BIKE RUNNEL AT WALL  
**DETAIL**  
A293 1 1/2" = 1'-0"



**7**  
UPPER RACE STREET STAIR WALL  
**DETAIL**  
A293 1 1/2" = 1'-0"

| ISSUE | NO. | DATE       | DESCRIPTION                  |
|-------|-----|------------|------------------------------|
|       | 1   | 10/23/2018 | BID PACKAGE #6 - DD TRICINGS |
|       | 2   | 10/23/2018 | BID PACKAGE #6 - DD TRICINGS |
|       | 3   | 10/23/2018 | BALLETIN #8                  |
|       | 4   | 10/23/2018 | BID PACKAGE #6 - SCORING SET |
|       | 5   | 2/27/2020  | BID PACKAGE #6               |
|       | 6   | 3/22/2020  | BID PACKAGE #6 - ADDENDUM #2 |



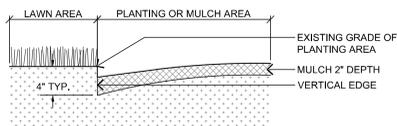
DRAWN BY: P.A.B.  
ENGINEER: M.S.M.  
CHECKED BY: M.L.H.

**THE BANKS  
PHASE 3B**

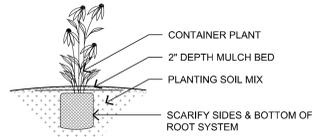
LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
UPPER RACE STREET  
STAIR AND PLANTER  
SECTIONS

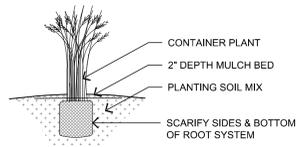
JOB NUMBER DATE  
98090.38 9/23/2019  
DRAWING NUMBER



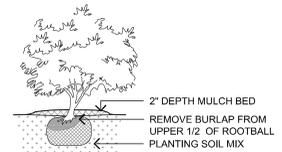
1 PLANT BED EDGING  
SCALE: N.T.S.



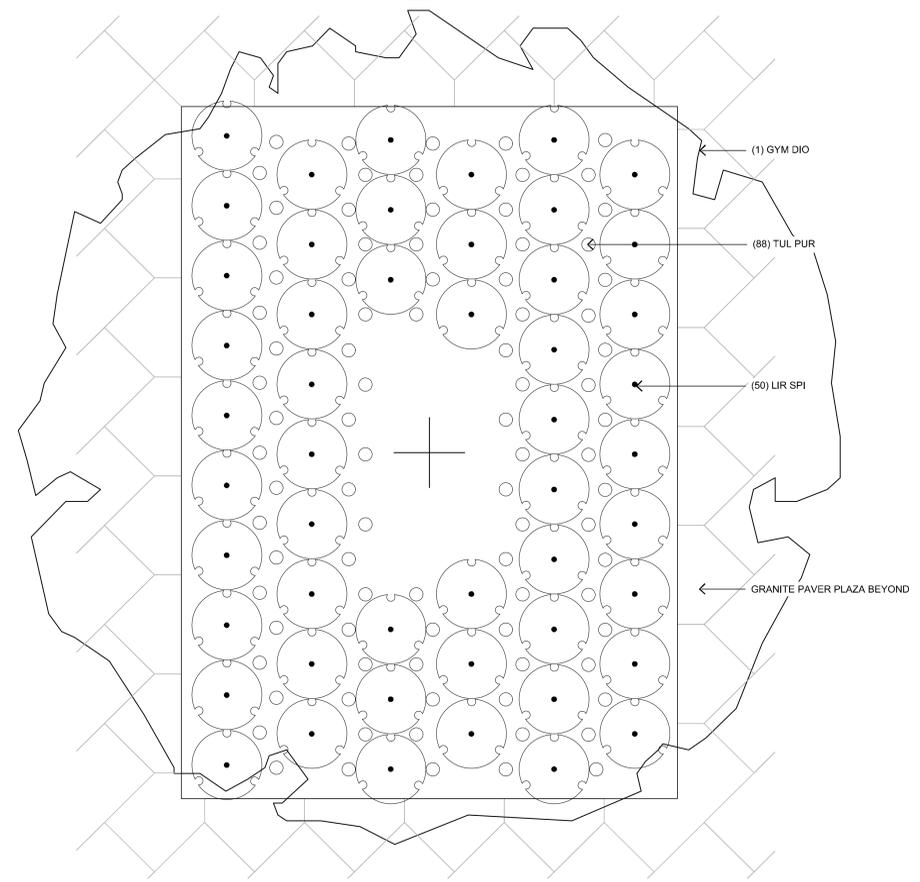
2 PERENNIAL PLANTING  
SCALE: N.T.S.



3 ORNAMENTAL GRASS PLANTING  
SCALE: N.T.S.



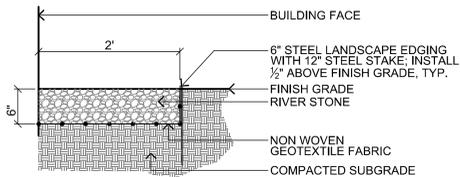
4 SHRUB PLANTING  
SCALE: N.T.S.



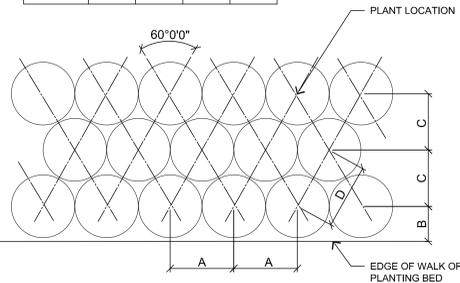
9 503 PLAZA - TREE PIT TYPICAL PLANTING PLAN  
SCALE: 1" = 1'-0"

| SPACING | A   | B   | C   | D   |
|---------|-----|-----|-----|-----|
| 12"     | 12" | 6"  | 10" | 12" |
| 18"     | 18" | 8"  | 15" | 18" |
| 24"     | 24" | 10" | 20" | 24" |
| 30"     | 30" | 15" | 25" | 30" |
| 36"     | 36" | 18" | 31" | 36" |
| 48"     | 48" | 21" | 41" | 48" |

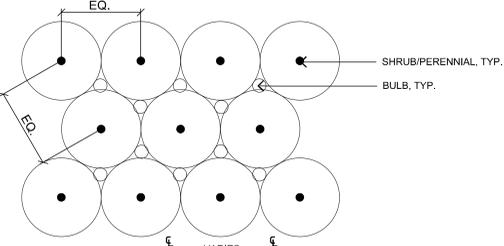
A = SPACING  
B = SP/2  
C = SP/1.2  
D = SPACING



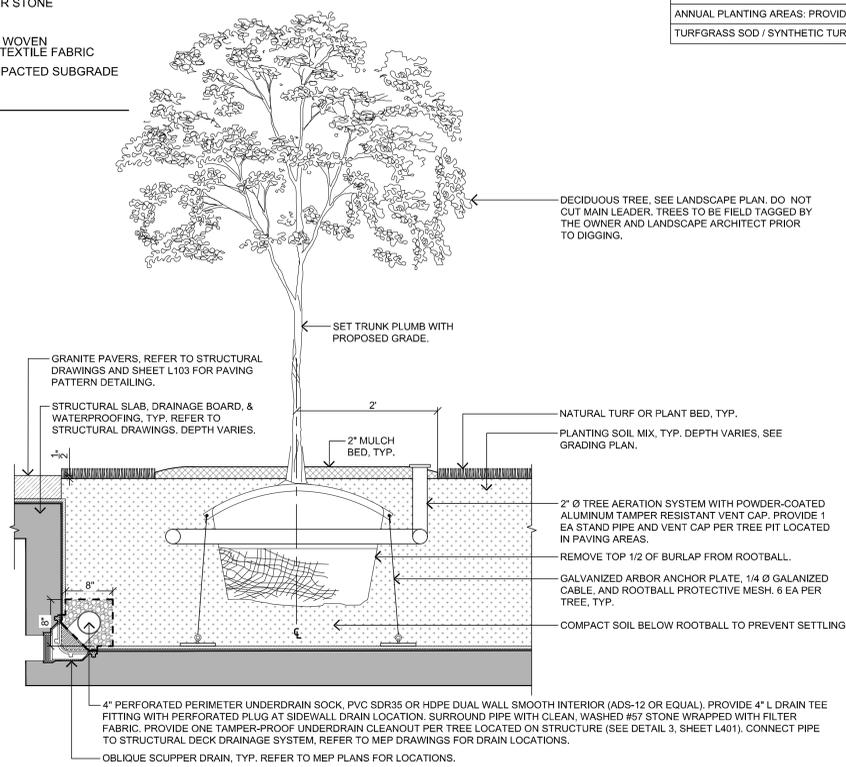
10 AGGREGATE MAINTENANCE STRIP  
SCALE: 1" = 1'-0"



5 PERENNIAL SPACING  
SCALE: N.T.S.

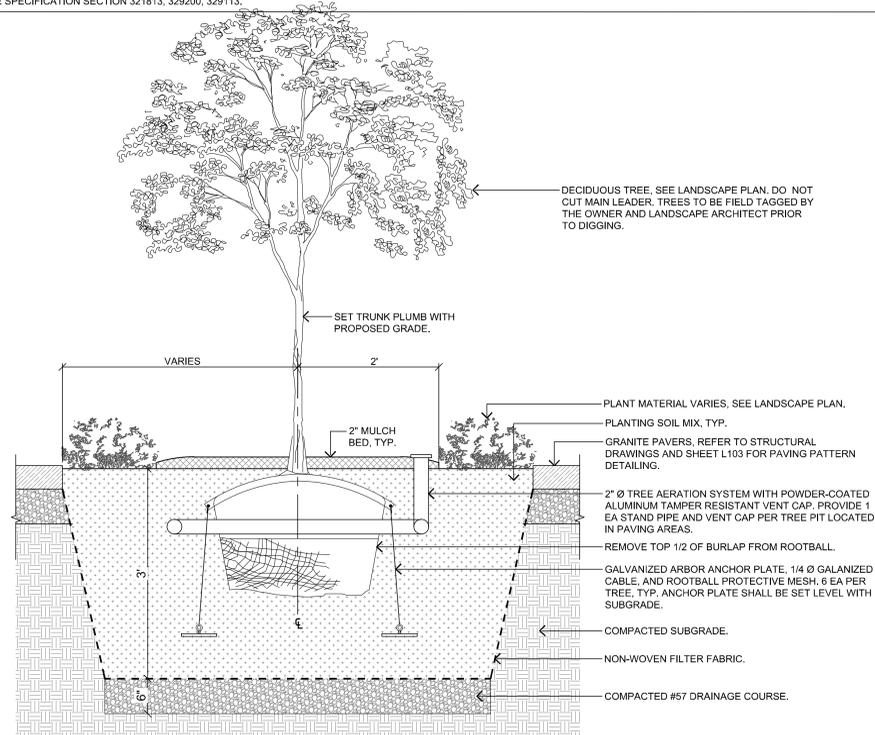


6 BULB SPACING  
SCALE: N.T.S.



NOTES:  
1. REFER TO SPECIFICATION SECTION 329300 - PLANTS AND 329113 - PLANTING SOILS FOR ADDITIONAL INFORMATION.  
2. REFER TO MEP DRAWINGS FOR STRUCTURAL DECK DRAIN LOCATIONS AND DETAILS.  
3. REFER TO ARCHITECTURAL & STRUCTURAL DRAWINGS FOR GRADING PLANS AND TREE PIT DEPTHS.  
4. PROVIDE A CIRCULAR TREE AERATION SYSTEM AND VENT AT EACH SINGULAR TREE PIT. FOR LINEAR TREE PLANTING AREAS PROVIDE ONE VENT CAP PER TREE AND WEAVE THE TREE AERATION SYSTEM IN A SERPENTINE FASHION BETWEEN EACH TREE.  
5. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISHED GRADE.  
6. REMOVE ALL LABELS, TAGS, OR OTHER FOREIGN MATERIALS FROM LIMBS.  
7. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS DURING TRANSPLANTING. RETAIN NORMAL SHAPE OF TREE. OWNER'S REPRESENTATIVE WILL DETERMINE AMOUNT OF PRUNING NECESSARY. PLANT TREES AT SAME GRADE AS GROWN IN THE NURSERY.

7 TREE PLANTING IN LAWN ON STRUCTURE  
SCALE: 1" = 1'-0"



NOTES:  
1. REFER TO SPECIFICATION SECTION 329300 - PLANTS AND 329113 - PLANTING SOILS FOR ADDITIONAL INFORMATION.  
2. PROVIDE A CIRCULAR TREE AERATION SYSTEM AND VENT AT EACH SINGULAR TREE PIT. FOR LINEAR TREE PLANTING AREAS PROVIDE ONE VENT CAP PER TREE AND WEAVE THE TREE AERATION SYSTEM IN A SERPENTINE FASHION BETWEEN EACH TREE.  
3. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISHED GRADE.  
4. REMOVE ALL LABELS, TAGS, OR OTHER FOREIGN MATERIALS FROM LIMBS.  
5. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS DURING TRANSPLANTING. RETAIN NORMAL SHAPE OF TREE. OWNER'S REPRESENTATIVE WILL DETERMINE AMOUNT OF PRUNING NECESSARY. PLANT TREES AT SAME GRADE AS GROWN IN THE NURSERY.

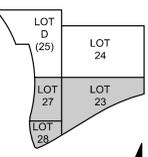
8 TREE PLANTING AT GRADE  
SCALE: 1" = 1'-0"

| KEY  | BOTANICAL NAME                                   | COMMON NAME                       | SIZE             | ROOT  | REMARKS  |
|--|--|-----------------------------------|------------------|-------|--|
| <b>DECIDUOUS TREES:</b>  |  |                                   |                  |       |  |
| BET NIG  | BETULA NIGRA 'DURA-HEAT'                         | DURA HEAT RIVER BIRCH             | 3" CAL.          | B&B   | SINGLE STEMMED SPECIMEN TREE, MATCHING SPREAD & HEIGHT. OWNER & LANDSCAPE ARCHITECT TO FIELD TAG TREES PRIOR TO DIGGING.                   |
| GLE TRI  | GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER' | SHADEMASTER THORNLESS HONEYLOCUST | 3" CAL.          | B&B   | SPECIMEN TREE, MATCHING SPREAD & HEIGHT. OWNER & LANDSCAPE ARCHITECT TO FIELD TAG TREES PRIOR TO DIGGING.                                  |
| GYM DIO  | GYMNOCLADUS DIOICUS                              | KENTUCKY COFFEETREE               | 3" CAL.          | B&B   | SPECIMEN TREE, MATCHING SPREAD & HEIGHT. OWNER & LANDSCAPE ARCHITECT TO FIELD TAG TREES PRIOR TO DIGGING. BRANCHING HEIGHT TO BEGIN AT 6'. |
| NYS SYL  | NYSSA SYLVATICA                                  | BLACKGUM                          | 3" CAL.          | B&B   | SPECIMEN TREE, MATCHING SPREAD & HEIGHT. OWNER & LANDSCAPE ARCHITECT TO FIELD TAG TREES PRIOR TO DIGGING.                                  |
| TIL COR  | TILIA CORDATA 'CORINTHIAN'                       | CORINTHIAN LITTLELEAF LINDEN      | 3" CAL.          | B&B   | SPECIMEN TREE, MATCHING SPREAD & HEIGHT. OWNER & LANDSCAPE ARCHITECT TO FIELD TAG TREES PRIOR TO DIGGING.                                  |
| ULM PAR  | ULMUS PARVIFOLIA 'EMER II'                       | ALLEE ELM                         | 3" CAL.          | B&B   | SPECIMEN TREE, MATCHING SPREAD & HEIGHT. OWNER & LANDSCAPE ARCHITECT TO FIELD TAG TREES PRIOR TO DIGGING.                                  |
| <b>ORNAMENTAL TREES:</b>   |  |                                   |                  |       |  |
| MAG VIR  | MAGNOLIA VIRGINIANA                              | SWEETBAY MAGNOLIA                 | 10' HT. MIN.     | B&B   | MULTI-STEM (3 EA STEMS) SPECIMEN TREE. MATCHING SPREAD & HEIGHT. OWNER & LANDSCAPE ARCHITECT TO FIELD TAG TREES PRIOR TO DIGGING.          |
| THU OCC  | THUJA OCCIDENTALIS 'SMARAGD'                     | EMERALD GREEN ARBORVITAE          | 8' HT. MIN.      | B&B   | MATCHING SPREAD & HEIGHT. OWNER & LANDSCAPE ARCHITECT TO FIELD TAG TREES PRIOR TO DIGGING.   |
| <b>SHRUBS:</b>   |  |                                   |                  |       |  |
| CHA PIS  | CHAMAECYPARIS PISIFERA 'GOLDEN MOP'              | GOLDEN MOP FALSE CYPRESS          | #7, 18" HT. MIN. | CONT. | PLANT 4' O.C.  |
| HYD PAN  | HYDRANGEA PANICULATA 'JANE'                      | LITTLE LIMELIGHT HYDRANGEA        | #7, 18" HT. MIN. | CONT. | PLANT 5' O.C.  |
| HYD QUE  | HYDRANGEA QUERCIFOLIA 'PEE WEE'                  | PEE WEE OAKLEAF HYDRANGEA         | #7, 24" HT. MIN. | CONT. | PLANT 5' O.C.  |
| <b>PERENNIALS AND ORNAMENTAL GRASSES:</b>  |  |                                   |                  |       |  |
| ALL MED  | ALLIUM 'MEDUSA'                                  | MEDUSA ORNAMENTAL ONION           | #1, 12" HT. MIN. | CONT. | PLANT 30" O.C.   |
| ANE MAC  | ANEMONE X 'MACANE001'                            | WILD SWAN HYBRID ANEMONE          | #1, 12" HT. MIN. | CONT. | PLANT 24" O.C.   |
| ARO MEL  | ARONIA MELANOCARPA 'CONNAMA165'                  | LOW SCAPE MOUND BLACK CHOKEBERRY  | #3, 12" HT. MIN. | CONT. | PLANT 36" O.C.   |
| BOU CUR  | BOUTELOUA CURTIPENDULA                           | SIDEOTS GAMA GRASS                | #3, 24" HT. MIN. | CONT. | PLANT 36" O.C.   |
| CAL ACU  | CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'         | FEATHER REED GRASS                | #3, 24" HT. MIN. | CONT. | PLANT 36" O.C.   |
| EUT DUB  | EUTROCHIMUM DUBIUM 'BABY JOE'                    | DWARF JOE PYE WEED                | #3, 24" HT. MIN. | CONT. | PLANT 30" O.C.   |
| FIL RUB  | FILIPENDULA RUBRA                                | QUEEN OF THE PRAIRIE              | #3, 24" HT. MIN. | CONT. | PLANT 36" O.C.   |
| GER MAC  | GERANIUM MACRORRHIZUM 'BEVAN'S VARIETY'          | BIGROOT GERANIUM                  | #1, 12" HT. MIN. | CONT. | PLANT 24" O.C.   |
| LEU DAI  | LEUCANTHEMUM 'DAISY DUKE'                        | DAISY DUKE MAY DAISY              | #1, 12" HT. MIN. | CONT. | PLANT 24" O.C.   |
| LIR SPI  | LIRIOPE SPICATA                                  | CREeping LIRIOPE                  | #1, 8" HT. MIN.  | CONT. | PLANT 12" O.C.   |
| PER ATR  | PEROVSKIA ATRIPLICIFOLIA 'BLUE JEAN BABY'        | DWARF RUSSIAN SAGE                | #3, 24" HT. MIN. | CONT. | PLANT 24" O.C.   |
| RUD FUL  | RUDBECKIA FULGIDA 'BLOV'                         | VIET'S LITTLE SUZY RUDBECKIA      | #1, 12" HT. MIN. | CONT. | PLANT 24" O.C.   |
| SAL NEM  | SALVIA MEMOROSA 'CARADONNA'                      | CARADONNA SAGE                    | #1, 12" HT. MIN. | CONT. | PLANT 24" O.C.   |
| SCH SCO  | SCHIZACHYRIUM SCOPARIUM                          | LITTLE BLUESTEM GRASS             | #1, 12" HT. MIN. | CONT. | PLANT 30" O.C.   |
| SOL SPH  | SOLIDAGO SPHACELATA 'GOLDEN FLEECE'              | GOLDEN FLEECE GOLDENROD           | #3, 12" HT. MIN. | CONT. | PLANT 18" O.C.   |
| STA OFF  | STACHYS OFFICINALIS 'HUMMEL0'                    | HUMMEL0 BETONY                    | #1, 12" HT. MIN. | CONT. | PLANT 18" O.C.   |
| SYM NOV  | SYMPHYOTRICHUM NOVAE-ANGIAE 'PURPLE DOME'        | NEW ENGLAND ASTER                 | #1, 12" HT. MIN. | CONT. | PLANT 30" O.C.   |
| VER VIR  | VERONICASTRUM VIRGINICUM 'FASCINATION'           | CULVER'S ROOT                     | #3, 24" HT. MIN. | CONT. | PLANT 36" O.C.   |
| <b>BULBS:</b>  |  |                                   |                  |       |  |
| ALL AMB  | ALLIUM 'AMBASSADOR'                              | ORNAMENTAL ONION                  | 6" BULB          | BULB  | PLANT 4-6" O.C. ONLY PLANT IN FALL   |
| NAR TRU  | NARCISSUS TRUMPET 'DUTCH MASTER'                 | DUTCH MASTER TRUMPET DAFFODIL     | 5" BULB          | BULB  | PLANT 4-6" O.C. ONLY PLANT IN FALL   |
| TUL PUR  | TULIPA 'PURISSIMA'                               | WHITE FOSTERIANA TULIP            | 5" BULB          | BULB  | PLANT 4-6" O.C. ONLY PLANT IN FALL   |
| MOVABLE PLANTERS: PROVIDE POTTING SOIL MIX AND ANNUAL PLANT ARRANGEMENTS FOR EACH MOVABLE PLANTER.<br>ANNUAL PLANTING AREAS: PROVIDE ANNUAL PLANT LIST TO LANDSCAPE ARCHITECT & OWNER FOR APPROVAL PRIOR TO INSTALLATION.<br>TURFGRASS SOD / SYNTHETIC TURF: SEE SPECIFICATION SECTION 321813, 329200, 329113. |  |                                   |                  |       |  |



**TIP**  
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Consulting Engineers  
100 East Eighth Street  
Cincinnati, Ohio 45202  
Phone: (513) 241-3222  
Fax: (513) 241-2981

| NO. | DATE       | DESCRIPTION        |
|-----|------------|--------------------|
| 1   | 07/20/2018 | ISSUED FOR PERMITS |
| 2   | 07/27/2018 | ISSUED FOR PERMITS |
| 3   | 08/01/2018 | ISSUED FOR PERMITS |
| 4   | 08/01/2018 | ISSUED FOR PERMITS |



DRAWN BY: M.S.  
ENGINEER:  
CHECKED BY: M.P.

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE & RACE ST. TURNAROUND

DRAWING TITLE:  
**PLANT SCHEDULE & DETAILS**

JOB NUMBER: 98090.38  
DATE:  
DRAWING NUMBER:

**L301**



HAMILTON COUNTY  
RIVERFRONT PARKING  
AND INFRASTRUCTURE  
IMPROVEMENTS



THP Limited, Inc.  
Consulting Engineers  
100 East Eighth Street  
Cincinnati, Ohio 45202  
Phone: (513) 241-3222  
Fax: (513) 241-2981



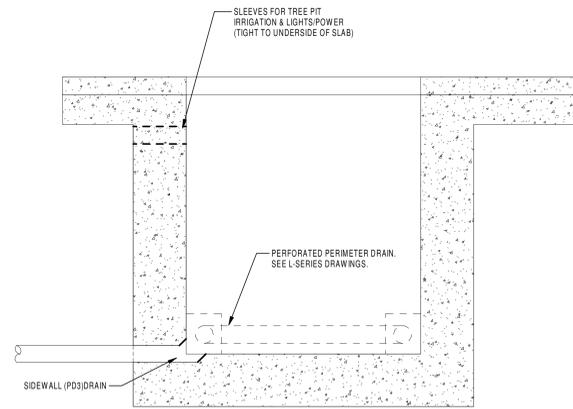
1400 W. Coventry Lane, Dayton, OH 45420-1317  
PH 937-224-0881 FAX 937-224-9777 www.heapy.com

**GENERAL NOTES**

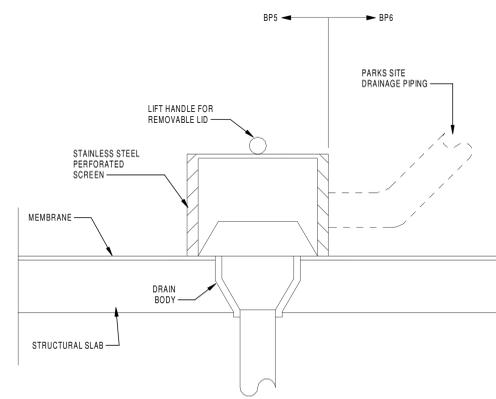
- A IN THE PARKING GARAGE AREAS, ALL ABOVE GROUND PIPING SHALL BE INSTALLED AS POSSIBLE TO PROVIDE MAXIMUM CLEARANCE. NO PIPING, FITTINGS, HANGARS, OR OTHER ASSOCIATED EQUIPMENT SHALL BE BELOW 8'-4" ABOVE FINISHED FLOOR ELEVATION.
- B ALL ABOVE GROUND PIPING TO BE INSTALLED AT THE UNDERSIDE OF STRUCTURE IN EXPOSED STRUCTURE AREAS UNLESS OTHERWISE NOTED.
- C TO FACILITATE DRAINAGE AND WINTERIZATION, PROVIDE VALVES AND THREADED STUB AT ALL LOW POINTS OF THE POTABLE, IRRIGATION, AND WASHDOWN WATER SYSTEMS IN ADDITION TO ALL SHOWN ON PLANS.
- D DRAINAGE PIPE FROM FREEZE PROOF GROUND HYDRANTS SHALL BE INSTALLED WITH SLOPE OR OFFSETS TO PROMOTE TOTAL DRAINAGE OF HYDRANTS.

**EQUIPMENT DATA**

- SD1 SLOTTED DRAIN  
PRECAST POLYESTER CONCRETE CHANNEL, INTERLOCKING NEUTRAL (0% SLOPE) CHANNELS, INTEGRAL RAIL, RADIUS BOTTOM, 4" INTERNAL WIDTH, FREE PROOF, 0.45" SLOTTED GRATE. DESIGN BASIS: JF SMITH 8885 USING 8895 DRAIN.
- SD2 SLOTTED DRAIN  
PRECAST POLYESTER CONCRETE CHANNEL, INTERLOCKING SLOPED (0.125" PER FOOT) CHANNELS, INTEGRAL RAIL, RADIUS BOTTOM, 4" INTERNAL WIDTH, FREE PROOF, 0.45" SLOTTED GRATE. DESIGN BASIS: JF SMITH 8885 USING 8895 DRAIN.
- GH GROUND HYDRANT AND CLIMATE  
RIMGED NICKEL BRONZE BOX, 0.75" HOSE CONNECTION, BOX DRAIN HOLE AND VALVE HOUSING DRAIN HOLE. BURY DEPTH SHALL BE COORDINATED WITH STRUCTURE BELOW TO PROVIDE ADEQUATE SPACE TO ROUTE SUPPLY AND DRAIN PIPE.  
DESIGN BASIS: SMITH 5810-SAP
- BP BOOSTER PUMP  
BOOSTER PUMP SYSTEM ASSEMBLY, IN-LINE, CONSTANT WATER PRESSURE, EXPANSION TANK, CONTROLLER, MOUNTING BRACKETS, AND PRESSURE SENSOR.  
110V/1PH, 0.5HP  
30 GPM, 60 PSI TDH  
DESIGN BASIS: GRUNDFOS BMQ230



1 TYPICAL DETAIL AT TREE PIT (PD3 DRAIN)



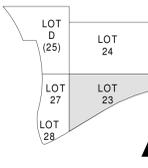
2 SUBSURFACE (PD1) PLANTER DRAIN DETAIL

| PIPE SLEEVE SCHEDULE |             |
|----------------------|-------------|
| PIPE SIZE            | SLEEVE SIZE |
| 0.75"                | 1.5"        |
| 1"                   | 2"          |
| 2"                   | 4"          |
| 3"                   | 5"          |
| 4"                   | 6"          |
| 6"                   | 10"         |
| 8"                   | 12"         |
| 10"                  | 14"         |

SCHEDULE NOTES:  
1 CONTRACTOR SHALL SUBMIT PIPE SLEEVE SHOP DRAWINGS FOR APPROVAL PRIOR TO DECK FORMING APPROVAL AND CONSTRUCTION.

3 PIPE SLEEVE SCHEDULE BP6

| ISSUE | DATE      | DESCRIPTION               |
|-------|-----------|---------------------------|
| 1     | 2/27/2020 | ISSUED FOR BID PACKAGE #1 |
| 2     | 1/31/2020 | ISSUED FOR BID PACKAGE #2 |



DRAWN BY: ALO  
ENGINEER: DJT  
CHECKED BY: DNM

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE & RACE ST. TURNAROUND

DRAWING TITLE  
SCHEDULES DETAILS AND NOTES

JOB NUMBER  
2019-07018 02/21/2020  
DRAWING NUMBER  
P002BP

**GENERAL NOTES**

A REFER TO ARCHITECTURAL PLANS FOR EXTENTS OF LOWER STRUCTURE ELEMENTS. COORDINATE WITH THESE ELEMENTS AS REQUIRED.

**PLAN NOTES**

- REFER TO DETAIL ON THIS SHEET.
- MAINLINE STUB UP. SEAL PENETRATION. SIZE TO BE DETERMINED.
- PIPING UNDER SLAB. EXTEND 0.75" PIPE IN 1.25" SCHEDULE 40 PVC SLEEVE. PIPE WITHIN SLEEVE SHALL BE CONTINUOUS WITH NO JOINTS.
- PENETRATE WALL STRUCTURE AND CONNECT TO WALL MOUNTED HOSE BIBB.
- THIS SECTION OF PIPING IS LOCATED IN ADJACENT LOT 22 BUILDING. REFER TO REFERENCE DRAWING P105.
- PROVIDE 0.5" VALVE FOR DRAINING OF PIPING SYSTEM.
- PROVIDE BPI DOWNSTREAM OF NPW/RR BACKFLOW PREVENTER.

- PROVIDE VALVE AND CONNECT TO DRAINAGE TAPS OF HYDRANT ABOVE.
- PROVIDE 0.5" STUB WITH VALVE ON SUPPLY TO FIXTURE TO ALLOW FOR DRAINING SYSTEM.
- PROVIDE 1" WD RISER THROUGH SLEEVE IN BOTTOM OF PIT.
- SLEEVE THROUGH SIDE OF TREE PIT. REFER TO DETAIL 8/P002.
- CONNECT TO IRRIGATION EQUIPMENT PROVIDED BY IRRIGATION CONTRACTOR. SEE IR-SERIES DRAWING FOR CONNECTION DETAIL.
- SEE P102BP FOR CONTINUATION.
- PROVIDE SLEEVE THROUGH STRUCTURE FOR PIPE.

15 IRRIGATION RISER THROUGH BOTTOM OF TREE PIT.  
 16 PIPE SHALL PENETRATE STRUCTURAL ELEMENT AT THIS LOCATION. PROVIDE SLEEVE PER SCHEDULE. CONNECT TO IRRIGATION EQUIPMENT PROVIDED BY IRRIGATION CONTRACTOR. SEE IR-SERIES DRAWING FOR CONNECTION DETAIL.

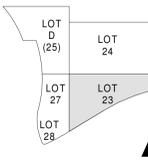


HAMILTON COUNTY  
 RIVERFRONT PARKING  
 AND INFRASTRUCTURE  
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| ISSUE | DATE       | DESCRIPTION                  |
|-------|------------|------------------------------|
| 1     | 10/20/19   | DESIGN DEVELOPMENT           |
| 2     | 1/21/2020  | BID PACKAGE #5 BULLETIN #8   |
| 3     | 1/21/2020  | BID PACKAGE #6 BULLETIN #9   |
| 4     | 2/27/2020  | BID PACKAGE #6 BULLETIN #9P1 |
| 5     | TBD        | BULLETIN #9P2                |
| 6     | 10/11/2020 | B.P.#6 - ADDENDUM #2         |



DRAWN BY: ALO  
 ENGINEER: DJT  
 CHECKED BY: DNM

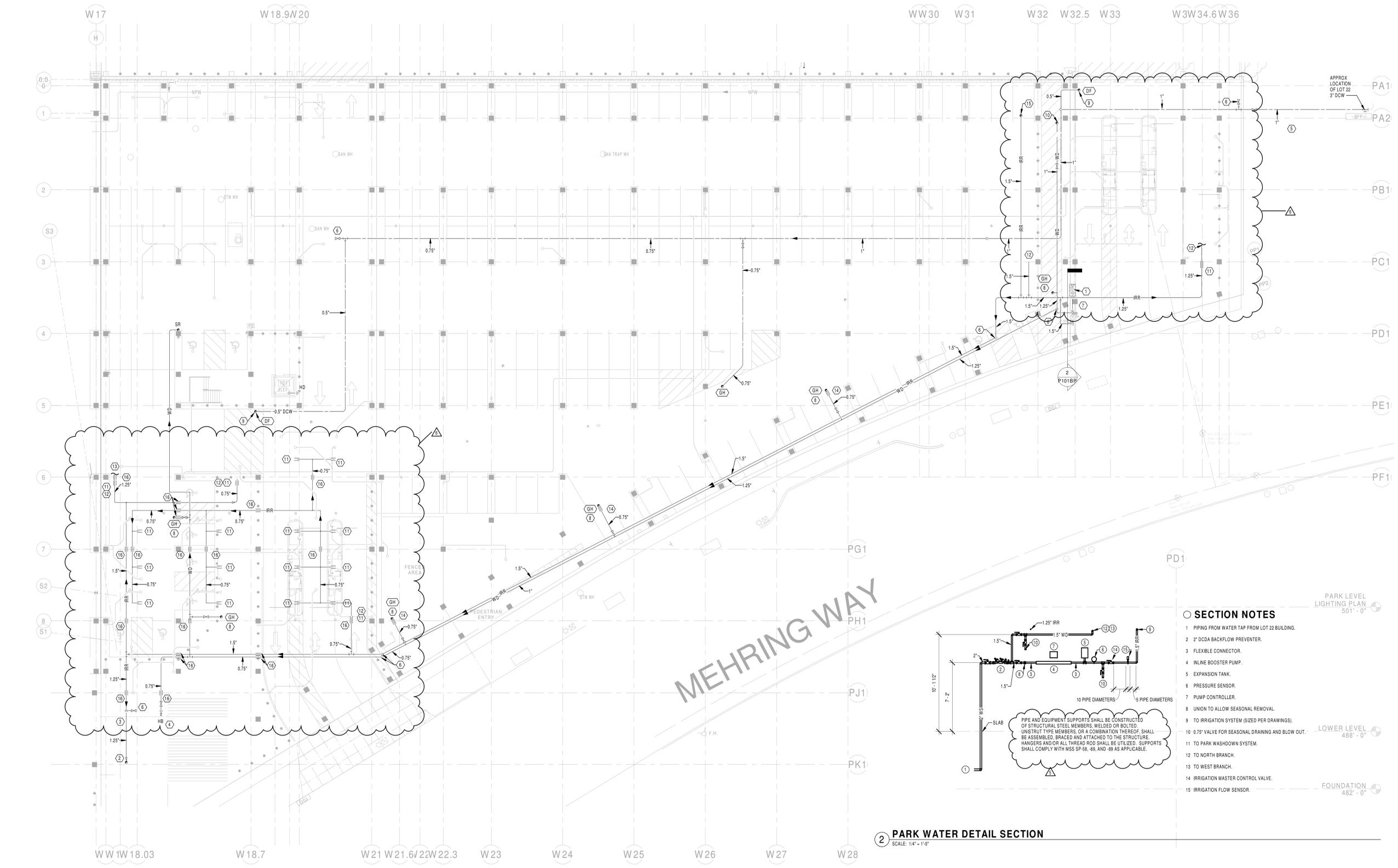
**THE BANKS  
 PHASE 3B**

LOT 23/27/28 GARAGE &  
 RACE ST. TURNAROUND

DRAWING TITLE  
 LOWER LEVEL PLUMBING  
 PLAN (LOT 23)

JOB NUMBER  
 2019-07018 02/21/2020

DRAWING NUMBER  
**P101BP**

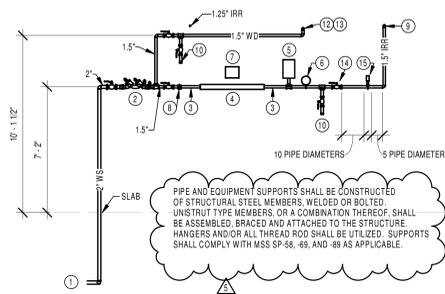


**1 LOWER LEVEL PLUMBING PLAN (LOT 23)**  
 1/16" = 1'-0"  
 0 8 16 32 48

**2 PARK WATER DETAIL SECTION**  
 SCALE: 1/4" = 1'-0"

**SECTION NOTES**

- PIPING FROM WATER TAP FROM LOT 22 BUILDING.
- 2" DCDA BACKFLOW PREVENTER.
- FLEXIBLE CONNECTOR.
- INLINE BOOSTER PUMP.
- EXPANSION TANK.
- PRESSURE SENSOR.
- PUMP CONTROLLER.
- UNION TO ALLOW SEASONAL REMOVAL.
- TO IRRIGATION SYSTEM (SIZED PER DRAWINGS).
- 0.75" VALVE FOR SEASONAL DRAINING AND BLOW OUT.
- TO PARK WASHDOWN SYSTEM.
- TO NORTH BRANCH.
- TO WEST BRANCH.
- IRRIGATION MASTER CONTROL VALVE.
- IRRIGATION FLOW SENSOR.



PIPE AND EQUIPMENT SUPPORTS SHALL BE CONSTRUCTED OF STRUCTURAL STEEL MEMBERS WELDED OR BOLTED UNISTRUT TYPE MEMBERS, OR A COMBINATION THEREOF. SHALL BE ASSEMBLED, BRACED AND ATTACHED TO THE STRUCTURE. HANGERS AND/OR ALL THREADED RODS SHALL BE UTILIZED. SUPPORTS SHALL COMPLY WITH MSS SP-58, 68, AND 88 AS APPLICABLE.

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HAMILTON COUNTY  
RIVERFRONT PARKING  
AND INFRASTRUCTURE



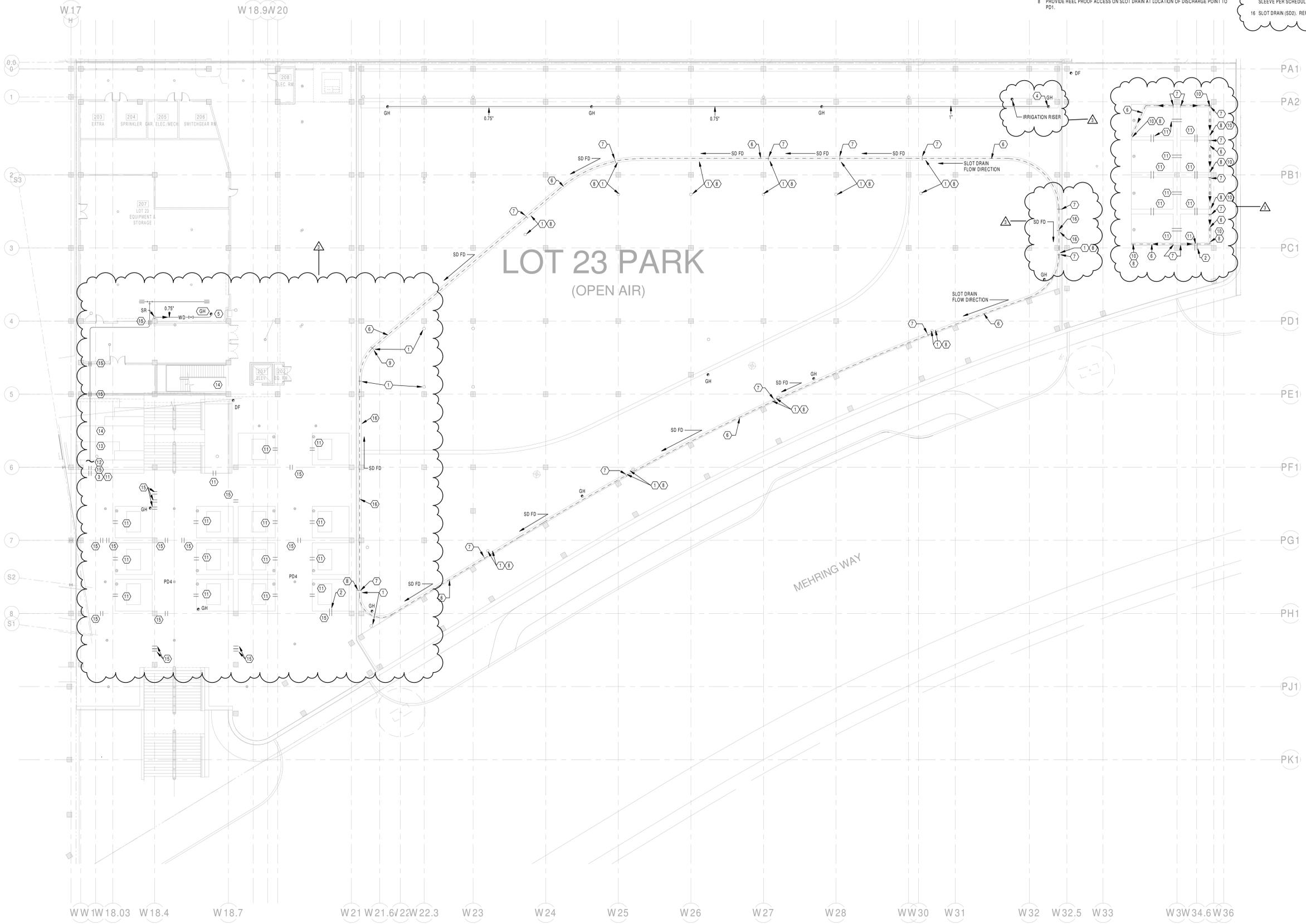
THP Limited, Inc.  
Consulting Engineers  
100 East Eighth Street  
Cincinnati, Ohio 45202  
Phone: (513) 241-3232  
Fax: (513) 241-2981

Heapy Engineering

MEP Design Technology Planning Community Energy  
1400 W. County Lane, Dayton, OH 45426-1317  
Ph: 937-224-0851 Fax: 937-224-9777 www.heapy.com

**PLAN NOTES**

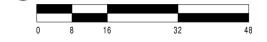
- 1 DIRECT DRAINAGE FROM SLOT DRAIN TO PD1. REFER TO DETAIL 9 ON P002.
- 2 PROVIDE SLAB PENETRATIONS AND NPW PIPE. CONNECT TO IRRIGATION ZONE CONTROL VALVE.
- 3 PROVIDE SLAB PENETRATIONS AND NPW PIPE FOR CONTINUATION TO IRRIGATION SYSTEM.
- 4 PROVIDE TEE FITTING BELOW CONNECTION TO GROUND HYDRANT AND ROUTE LATERAL TO OTHER HYDRANTS.
- 5 PROVIDE VALVE AND CONNECT TO DRAINAGE TAPS OF HYDRANT ABOVE.
- 6 SLOT DRAIN (SD1). REFER TO A SERIES DRAWINGS FOR DETAILS.
- 7 STARTING POINT OF SD1/SD2. FLOW SHALL FOLLOW PATH TO DISCHARGE TO DRAIN.
- 8 PROVIDE HEEL PROOF ACCESS ON SLOT DRAIN AT LOCATION OF DISCHARGE POINT TO PD1.
- 9 CONNECT DISCHARGES FROM SD INTO SINGLE CONNECTION TO DRAIN.
- 10 DIRECT DRAINAGE FROM SLOT DRAIN TO NEAR SCREEN OF PD3.
- 11 SLEEVES THROUGH SIDE OF TREE PIT. REFER TO DETAIL 8&P002. REFER TO P101BP AND IRRIGATION DRAWINGS ALSO.
- 12 PIPING IS LOCATED ON LEVEL BELOW. IT IS SHOWN HERE TO INDICATE ROUTING THROUGH SLEEVES AND TREE PITS. PIPING CONTINUATION IS SHOWN ON P101BP.
- 13 IRRIGATION PIPING SHALL FOLLOW SLOPE OF PLANTER UP TO BELOW STRUCTURE ABOVE.
- 14 PIPING LOCATED UP TO POINT OF SLAB ANGLE.
- 15 PIPE SHALL PENETRATE STRUCTURAL ELEMENT AT THIS LOCATION. PROVIDE SLEEVE PER SCHEDULE.
- 16 SLOT DRAIN (SD2). REFER TO A SERIES DRAWINGS FOR DETAILS.



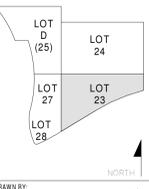
**LOT 23 PARK**  
(OPEN AIR)

MEHRING WAY

**1 UPPER LEVEL PARK PLUMBING PLAN (LOT 23)**



| ISSUE | NO. | DATE       | DESCRIPTION                     |
|-------|-----|------------|---------------------------------|
|       | 1   | 12/21/2020 | ISSUE PACKAGE NO. SCOPING SET   |
|       | 2   | 02/21/2021 | REVISED PACKAGE NO. SCOPING SET |
|       | 3   | 03/11/2020 | B.P. #6 - ADDENDUM #2           |



DRAWN BY: ALO  
ENGINEER: DJT  
CHECKED BY: DNM

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE:  
UPPER LEVEL PARK PLAN  
(LOT 23)

JOB NUMBER: 2019-07018  
DATE: 02/21/2020  
DRAWING NUMBER: P102BP



HAMILTON COUNTY  
RIVERFRONT PARKING  
AND INFRASTRUCTURE  
IMPROVEMENTS



THP Limited, Inc.  
Consulting Engineers  
100 East Eighth Street  
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Fax: (513) 241-2981

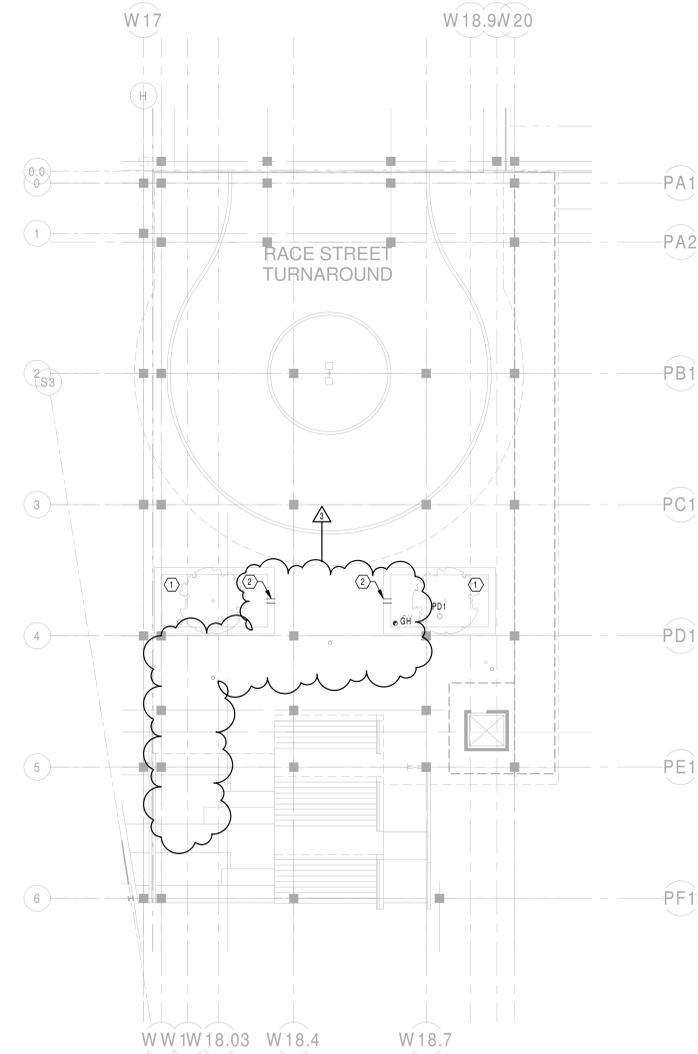


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1400 W. County Lane, Dayton, OH 45426-1311  
Ph: 937-224-0851 Fax: 937-224-9777 www.heapy.com

○ PLAN NOTES

- 1 SMALL TREE PLANTING ENCLOSURES.
- 2 PROVIDE SLAB PENETRATION AND NPW PIPE FOR CONTINUATION TO IRRIGATION SYSTEM. REFER TO DETAIL 8P002.



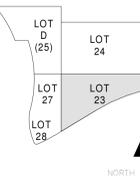
1 **PODIUM LEVEL PLUMBING PLAN (LOT 23)**

SCALE: 1/16" = 1'-0"



ISSUES

|   |            |                      |  |
|---|------------|----------------------|--|
| 1 | 12/18/2018 | INITIAL REVIEW       |  |
| 2 | 02/21/2020 | REWORK PACKAGE #8    |  |
| 3 | 03/11/2020 | B.P.#6 - ADDENDUM #2 |  |



DRAWN BY: ALO  
 ENGINEER: DJT  
 CHECKED BY: DNM

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
PODIUM LEVEL PLUMBING  
PLAN (LOT 23)

JOB NUMBER  
2019-07018

DATE  
02/21/2020

DRAWING NUMBER

**P103BP**



HAMILTON COUNTY  
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AND INFRASTRUCTURE  
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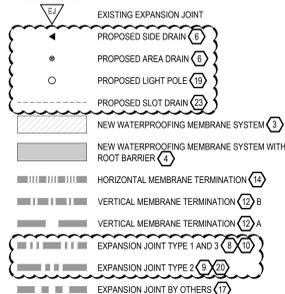
**GENERAL NOTES:**

- A. REFER TO LANDSCAPE PLANS FOR PLANTINGS, SITE FURNISHINGS, AND JOINT/SCORING PATTERNS.
- B. REFER TO PLUMBING PLANS FOR DRAIN LOCATIONS AND DETAILS. DRAINS SHOWN FOR REFERENCE ONLY.
- C. REFER TO MEP PLANS FOR VERTICAL PENETRATION LOCATIONS AND DETAILS. BOLLARDS AND LIGHT POLES SHOWN FOR REFERENCE ONLY.
- D. COORDINATE WITH ENGINEER AND WATERPROOFING MANUFACTURER'S PREPARATION TO CONFIRM VERTICAL AND HORIZONTAL PENETRATION PRIOR TO PERFORMING WORK. REFER TO SPECIFICATION SECTION 071400.

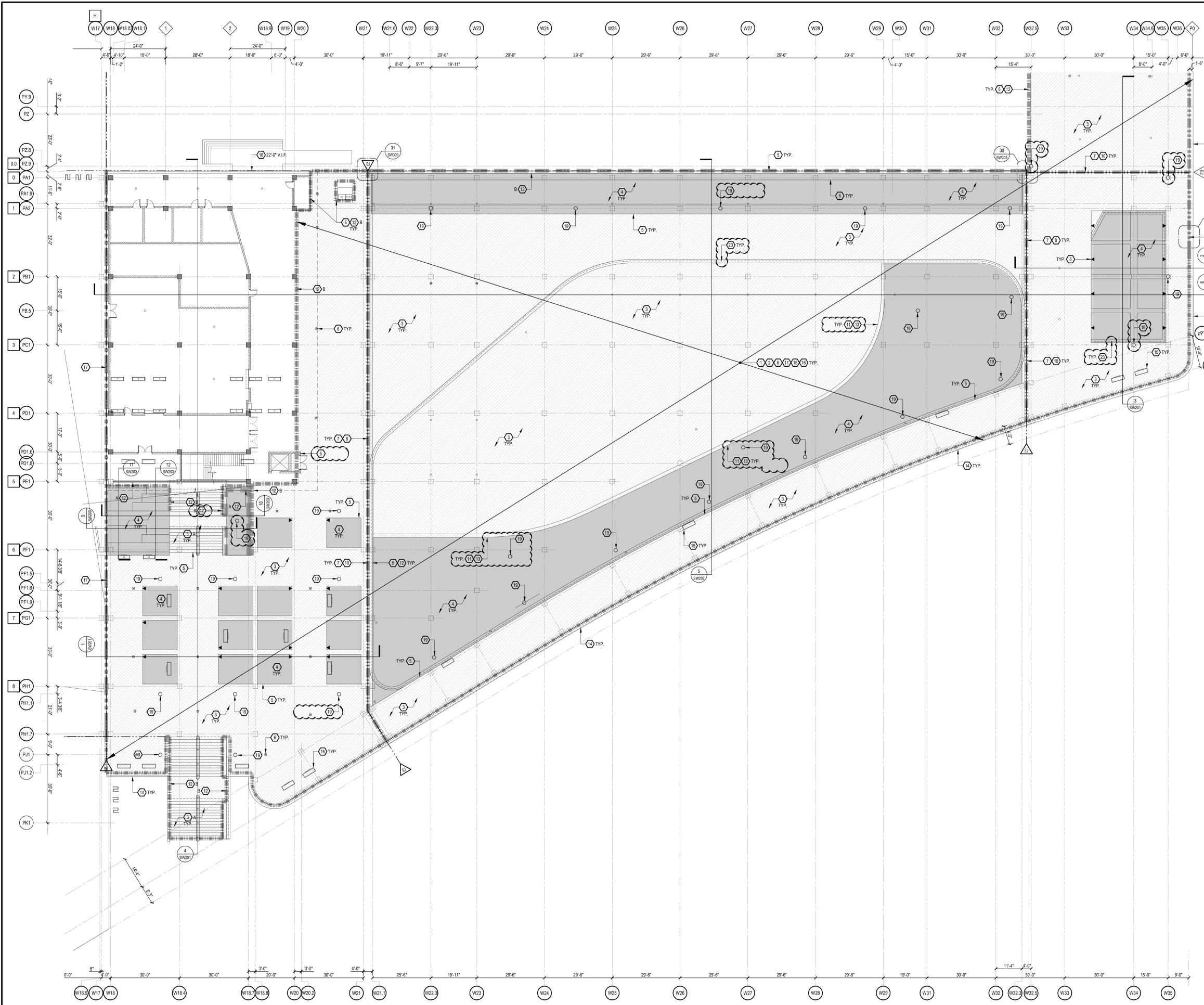
**DRAWING NOTES:**

1. REVIEW AND PREPARE CONCRETE FOR MEMBRANE APPLICATION. REFER TO DETAILS 1 AND 3 ON DRAWING SW301 AND SPECIFICATION SECTION 03100.
2. PROVIDE TEMPORARY PROTECTION OF INSTALLED WATERPROOFING SYSTEMS UNTIL OVERBUILD IS PLACED. REFER TO SPECIFICATION SECTION 071400.
3. PROVIDE HOT-APPLIED REINFORCED WATERPROOFING MEMBRANE WITH PROTECTION SHEET AND DRAIN BOARD HORIZONTAL WITH FILTER FABRIC (U.N.O.) AT THIS AREA. LAPS IN PROTECTION COURSE TO BE SEALED WITH HOT-APPLIED MEMBRANE. REFER TO DETAIL 9 ON DRAWING SW301 AND SPECIFICATION SECTION 071400.
4. AT STAIRS, INSTALL DRAIN BOARD HORIZONTAL AND VERTICAL.
5. PROVIDE HOT-APPLIED REINFORCED WATERPROOFING MEMBRANE WITH PROTECTION SHEET, ROOT BARRIER ON VERTICAL AND HORIZONTAL SURFACES. PROVIDE DRAIN BOARD WITH FILTER FABRIC ON HORIZONTAL SURFACES. LAPS IN PROTECTION COURSE TO BE SEALED WITH HOT-APPLIED MEMBRANE. REFER TO DETAIL 9 ON DRAWING SW301 AND SPECIFICATION SECTION 071400.
6. PROVIDE MEMBRANE TERMINATION AND INSIDE/OUTSIDE CORNER DETAIL THIS AREA. REFER TO DETAILS 8, 11, AND 12 ON DRAWING SW301 AND SPECIFICATION SECTION 071400.
7. TIE WATERPROOFING SYSTEM TO DRAINAGE. REFER TO DETAIL 25, 26, AND 27 ON DRAWING SW301 AND SPECIFICATION SECTION 071400. COORDINATE WITH PLUMBING PLANS FOR LOCATIONS AND DETAILS.
8. REVIEW AND PREPARE JOINT CAVITY FOR EXPANSION JOINT INSTALLATION. REFER TO DETAIL 4 ON DRAWING SW301 AND SPECIFICATION SECTION 030100.
9. PROVIDE EXPANSION JOINT TYPE 1. REFER TO DETAIL 18 ON DRAWING SW302 AND SPECIFICATION SECTIONS 071400 AND 079000.
10. PROVIDE EXPANSION JOINT TYPE 2. REFER TO DETAIL 19 ON DRAWING SW302 AND SPECIFICATION SECTIONS 071400 AND 079000.
11. PROVIDE EXPANSION JOINT TYPE 3. REFER TO DETAIL 20 ON DRAWING SW302 AND SPECIFICATION SECTIONS 071400 AND 079000.
12. VERTICAL AND HORIZONTAL PENETRATION. REFER TO DETAILS 16 AND 23 ON DRAWING SW302 AND SPECIFICATION SECTION 071400.
13. PROVIDE MEMBRANE TERMINATION AT VERTICAL SURFACE. REFER TO SPECIFICATION SECTION 071400.
  - A. REFER TO DETAIL 10 ON DRAWING SW301.
  - B. REFER TO DETAIL 24 ON DRAWING SW302.
14. REFER TO LANDSCAPING PLANS FOR CURB WALL. WATERPROOFING SYSTEM TO EXTEND UNDER WALL. REFER TO DETAIL 14 ON DRAWING SW302.
15. PROVIDE MEMBRANE HORIZONTAL EDGE TERMINATION. REFER TO DETAIL 6 ON DRAWING SW301.
16. REPAIR DAMAGED MEMBRANE. REFER TO DETAIL 36 ON DRAWING SW303 AND SPECIFICATION SECTION 071400.
17. EXPANSION JOINT - REFER TO MUSIC VENUE DRAWINGS. TIE-IN MEMBRANE SYSTEM. REFER TO DETAIL 7 ON DRAWING SW301.
18. PROVIDE WING COMPRESSION SEAL EXPANSION JOINT FULL LENGTH OF EXISTING JOINT. REFER TO DETAIL 33 ON DRAWING SW303.
19. TERMINATE WATERPROOFING SYSTEM ON LIGHT POLE BASE. REFER TO DETAILS 34 AND 35 ON DRAWING SW303.
20. EXTEND MEMBRANE SYSTEM OVER AND DOWN DONOR WALL AND LAP 6" ONTO EXISTING MEMBRANE. REFER TO ARCHITECTURAL DRAWINGS FOR DETAIL.
21. PROVIDE MEMBRANE TERMINATION AT EXISTING EXPANSION JOINTS. REFER TO DETAILS 20 AND 27 ON DRAWING S402 FOR EDGE CONDITION. REFERENCE BID PACKAGE #5.
22. REMOVE EXISTING MEMBRANE AND PREPARE SURFACE FOR NEW HOT-APPLIED SYSTEM. REFER TO DRAWING NOTE 3 AND SPECIFICATION SECTION 071400.
23. NEW SLOT DRAIN SYSTEM INSTALLED AFTER MEMBRANE SYSTEM. REFER TO DETAIL 28 ON DRAWING SW303.

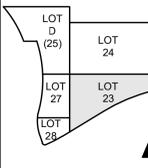
**LEGEND:**



- WATERPROOFING SYSTEM NOT TO BE EXPOSED MORE THAN (1) MONTH PRIOR TO INSTALLING OVERBURDEN.
- AFTER TEMPORARY PROTECTION IS REMOVED AND PRIOR TO INSTALLING OVERBURDEN, TEST ALL WATERPROOFING AND REPAIR AS NECESSARY. REFER TO SPECIFICATION SECTION 071400.



| NO. | DESCRIPTION             | DATE      |
|-----|-------------------------|-----------|
| 1   | ISSUED FOR PERMIT       | 1/17/2020 |
| 2   | ISSUED FOR BIDDING      | 2/12/2020 |
| 3   | ISSUED FOR CONSTRUCTION | 3/12/2020 |



DRAWN BY: G.O.D.  
ENGINEER: A.S.  
CHECKED BY: J.D.M.

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE & RACE ST. TURNAROUND

PARK LEVEL (503 - 507)  
WATERPROOFING  
PLAN

JOB NUMBER: 98090.38  
DATE: 12/13/2019  
DRAWING NUMBER: SW102B

**PARK LEVEL (503-507) LAYOUT, MATERIAL & GRADING PLAN**



1/8" = 1'-0"



HAMILTON COUNTY  
RIVERFRONT PARKING  
AND INFRASTRUCTURE  
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Cincinnati, Ohio 45202  
Phone: 513.341.3222  
www.thpltd.com

**GENERAL NOTES:**

- A. REFER TO LANDSCAPE PLANS FOR PLANTINGS, SITE FURNISHINGS, AND JOINTSCORING PATTERNS.
- B. REFER TO PLUMBING PLANS FOR DRAIN LOCATIONS AND DETAILS. DRAINS SHOWN FOR REFERENCE ONLY.
- C. REFER TO MEP PLANS FOR VERTICAL PENETRATION LOCATIONS AND DETAILS. BOLLARDS AND LIGHT POLES SHOWN FOR REFERENCE ONLY.
- D. COORDINATE WITH ENGINEER AND WATERPROOFING MANUFACTURER'S PREPARATION TO CONFIRM VERTICAL AND HORIZONTAL PENETRATION PRIOR TO PERFORMING WORK. REFER TO SPECIFICATION SECTION 071400.

**DRAWING NOTES:**

1. REVIEW AND PREPARE CONCRETE FOR MEMBRANE APPLICATION. REFER TO DETAILS 1 AND 3 ON DRAWING SW301 AND SPECIFICATION SECTION 030100.
2. PROVIDE TEMPORARY PROTECTION OF INSTALLED WATERPROOFING SYSTEMS UNTIL OVERBUILD IS PLACED. REFER TO SPECIFICATION SECTION 071400.
3. PROVIDE HOT-APPLIED REINFORCED WATERPROOFING MEMBRANE WITH PROTECTION SHEET AND DRAIN BOARD HORIZONTAL WITH FILTER FABRIC (U.N.O) AT THIS AREA. LAPS IN PROTECTION COURSE TO BE SEALED WITH HOT-APPLIED MEMBRANE. REFER TO DETAIL 9 ON DRAWING SW301 AND SPECIFICATION SECTION 071400.
  - A. AT STAIRS, INSTALL DRAIN BOARD HORIZONTAL AND VERTICAL.
4. PROVIDE HOT-APPLIED REINFORCED WATERPROOFING MEMBRANE WITH PROTECTION SHEET, ROOT BARRIER ON VERTICAL AND HORIZONTAL SURFACES. PROVIDE DRAIN BOARD WITH FILTER FABRIC ON HORIZONTAL SURFACES. LAPS IN PROTECTION COURSE TO BE SEALED WITH HOT-APPLIED MEMBRANE. REFER TO DETAIL 9 ON DRAWING SW301 AND SPECIFICATION SECTION 071400.
5. PROVIDE MEMBRANE TERMINATION AND INSIDE/OUTSIDE CORNER DETAIL THIS AREA. REFER TO DETAILS 8, 11, AND 12 ON DRAWING SW301 AND SPECIFICATION SECTION 071400.
6. TIE WATERPROOFING SYSTEM TO DRAINAGE. REFER TO DETAILS 25, 26, AND 27 ON DRAWING SW303 AND SPECIFICATION SECTION 071400. COORDINATE WITH PLUMBING PLANS FOR LOCATIONS AND DETAILS.
7. REVIEW AND PREPARE JOINT CAVITY FOR EXPANSION JOINT INSTALLATION. REFER TO DETAIL 4 ON DRAWING SW301 AND SPECIFICATION SECTION 030100.
8. PROVIDE EXPANSION JOINT TYPE 1. REFER TO DETAIL 18 ON DRAWING SW302 AND SPECIFICATION SECTIONS 071400 AND 079000.
9. PROVIDE EXPANSION JOINT TYPE 2. REFER TO DETAIL 19 ON DRAWING SW302 AND SPECIFICATION SECTIONS 071400 AND 079000.
10. PROVIDE EXPANSION JOINT TYPE 3. REFER TO DETAIL 20 ON DRAWING SW302 AND SPECIFICATION SECTIONS 071400 AND 079000.
11. VERTICAL AND HORIZONTAL PENETRATION. REFER TO DETAILS 16 AND 23 ON DRAWING SW302 AND SPECIFICATION SECTION 071400.
12. PROVIDE MEMBRANE TERMINATION AT VERTICAL SURFACE. REFER TO SPECIFICATION SECTION 071400.
  - A. REFER TO DETAIL 10 ON DRAWING SW301.
  - B. REFER TO DETAIL 24 ON DRAWING SW302.
13. REFER TO LANDSCAPING PLANS FOR CURB WALL. WATERPROOFING SYSTEM TO EXTEND UNDER WALL. REFER TO DETAIL 14 ON DRAWING SW302.
14. PROVIDE MEMBRANE HORIZONTAL EDGE TERMINATION. REFER TO DETAIL 6 ON DRAWING SW301.
15. PROVIDE MEMBRANE TERMINATION AT ALL FUTURE SITE FURNISHINGS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION AND DETAILS.
16. REPAIR DAMAGED MEMBRANE. REFER TO DETAIL 38 ON DRAWING SW303 AND SPECIFICATION SECTION 071400.
17. EXPANSION JOINT - REFER TO MUSIC VENUE DRAWINGS. TIE IN MEMBRANE SYSTEM. REFER TO DETAIL 7 ON DRAWING SW301.
18. PROVIDE WING COMPRESSION SEAL EXPANSION JOINT FULL LENGTH OF EXISTING JOINT. REFER TO DETAIL 33 ON DRAWING SW303.
19. TERMINATE WATERPROOFING SYSTEM ON LIGHT POLE BASE. REFER TO DETAILS 34 AND 35 ON DRAWING SW303.
20. EXTEND MEMBRANE SYSTEM OVER AND DOWN DONOR WALL AND LAP 6" ONTO EXISTING MEMBRANE. REFER TO ARCHITECTURAL DRAWINGS FOR DETAIL.
21. PROVIDE MEMBRANE TERMINATION AT EXISTING EXPANSION JOINTS. REFER TO DETAILS 20 AND 27 ON DRAWING S402 FOR EDGE CONDITION. REFERENCE BID PACKAGE #5.
22. REMOVE EXISTING MEMBRANE AND PREPARE SURFACE FOR NEW HOT-APPLIED SYSTEM. REFER TO DRAWING NOTE 3 AND SPECIFICATION SECTION 071400.
23. NEW SLOT DRAIN SYSTEM INSTALLED AFTER MEMBRANE SYSTEM. REFER TO DETAIL 28 ON DRAWING SW303.

**LEGEND:**

- NEW WATERPROOFING MEMBRANE SYSTEM (1)
- NEW WATERPROOFING MEMBRANE SYSTEM WITH ROOT BARRIER (2)
- HORIZONTAL MEMBRANE TERMINATION (12)
- VERTICAL MEMBRANE TERMINATION (12) B
- VERTICAL MEMBRANE TERMINATION (12) A
- EXPANSION JOINT TYPE 1 AND 3 (18) (10)
- EXPANSION JOINT TYPE 2 (19) (20)

- WATERPROOFING SYSTEM NOT TO BE EXPOSED MORE THAN (1) MONTH PRIOR TO INSTALLING OVERBURDEN.
- AFTER TEMPORARY PROTECTION IS REMOVED AND PRIOR TO INSTALLING OVERBURDEN, TEST ALL WATERPROOFING AND REPAIR AS NECESSARY. REFER TO SPECIFICATION SECTION 071400.

ISSUES

SOURCE: 1/21/2020 BID PACKAGE #6 - SCOPING SET  
2/27/2020 BID PACKAGE #6  
3/12/2020 BID PACKAGE #6 - ADDENDUM #2



NORTH

DRAWN BY: G.O.D.

ENGINEER: A.S.

CHECKED BY: J.D.M.

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

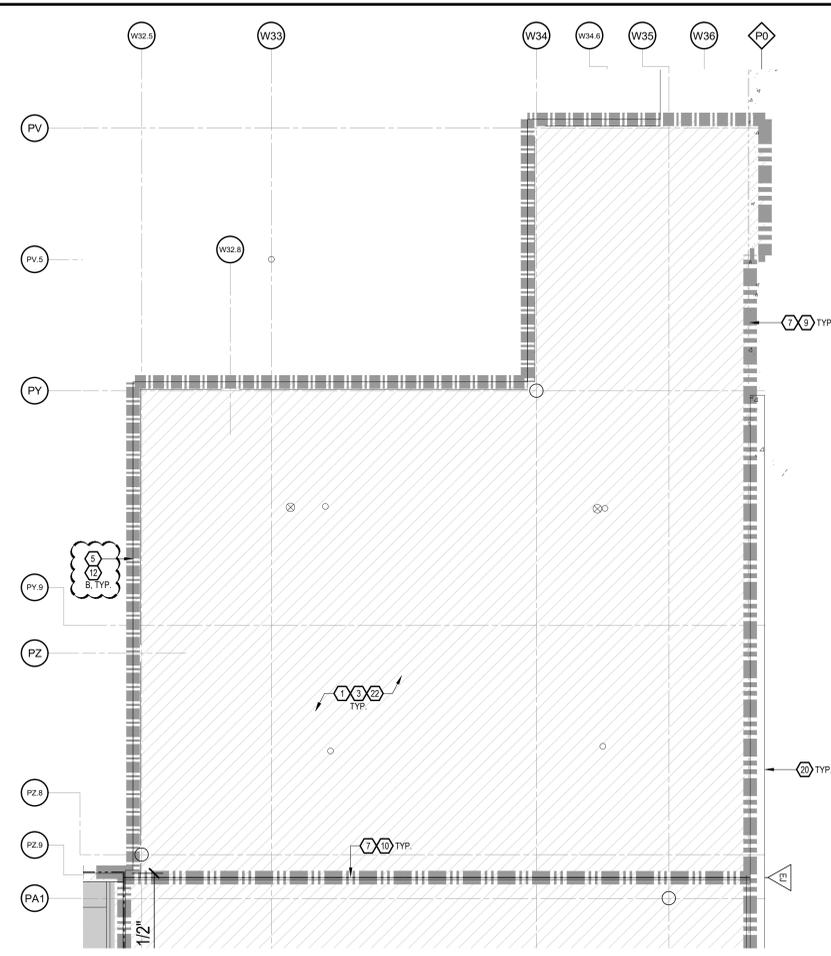
DRAWING TITLE  
**PODIUM LEVEL (515)  
AND PARK LEVEL (503)  
WATERPROOFING PLAN**

JOB NUMBER DATE

98090.38 12/13/2019

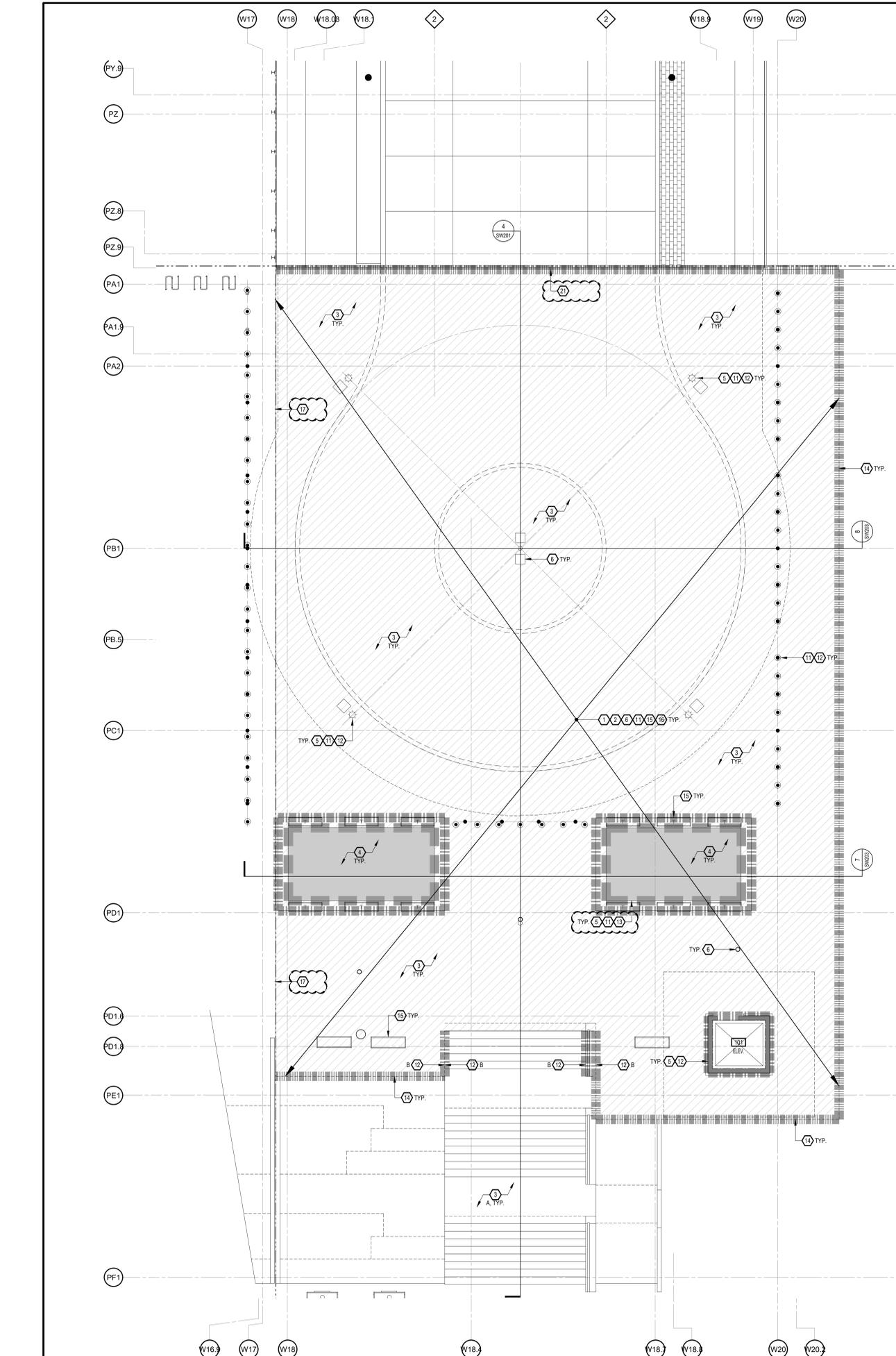
DRAWING NUMBER

**SW103B**



**PARK LEVEL (503) ENLARGED PLAN**

1/8" = 1'-0"



**PODIUM LEVEL (515)**

NOTE: ELEVATIONS SHOWN ARE TOP OF THE PAVEMENT/TOPPING SLAB ELEVATIONS

1/8" = 1'-0"





HAMILTON COUNTY  
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**GENERAL NOTES:**

- A. REFER TO LANDSCAPE PLANS FOR PLANTINGS, SITE FURNISHINGS, AND JOINT/SCORING PATTERNS.
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- C. REFER TO MEP PLANS FOR VERTICAL PENETRATION LOCATIONS AND DETAILS. BOLLARDS AND LIGHT POLES SHOWN FOR REFERENCE ONLY.
- D. COORDINATE WITH ENGINEER AND WATERPROOFING MANUFACTURER'S PREPARATION TO CONFIRM VERTICAL AND HORIZONTAL PENETRATION PRIOR TO PERFORMING WORK. REFER TO SPECIFICATION SECTION 071400.

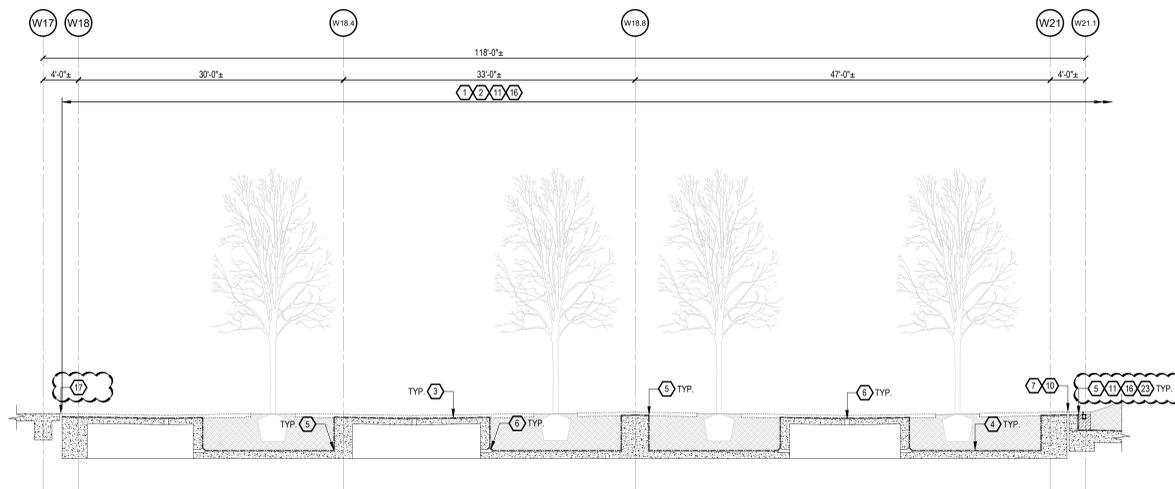
**DRAWING NOTES:**

1. REVIEW AND PREPARE CONCRETE FOR MEMBRANE APPLICATION. REFER TO DETAILS 1 AND 3 ON DRAWING SW301 AND SPECIFICATION SECTION 030100.
2. PROVIDE TEMPORARY PROTECTION OF INSTALLED WATERPROOFING SYSTEMS UNTIL OVERBUILD IS PLACED. REFER TO SPECIFICATION SECTION 071400.
3. PROVIDE HOT-APPLIED REINFORCED WATERPROOFING MEMBRANE WITH PROTECTION SHEET AND DRAIN BOARD HORIZONTAL WITH FILTER FABRIC (U.N.O.) AT THIS AREA. LAPS IN PROTECTION COURSE TO BE SEALED WITH HOT-APPLIED MEMBRANE. REFER TO DETAIL 5 ON DRAWING SW301 AND SPECIFICATION SECTION 071400.
  - A. AT STAIRS, INSTALL DRAIN BOARD HORIZONTAL AND VERTICAL.
4. PROVIDE HOT-APPLIED REINFORCED WATERPROOFING MEMBRANE WITH PROTECTION SHEET, ROOT BARRIER ON VERTICAL AND HORIZONTAL SURFACES. PROVIDE DRAIN BOARD WITH FILTER FABRIC ON HORIZONTAL SURFACES. LAPS IN PROTECTION COURSE TO BE SEALED WITH HOT-APPLIED MEMBRANE. REFER TO DETAIL 9 ON DRAWING SW301 AND SPECIFICATION SECTION 071400.
5. PROVIDE MEMBRANE TERMINATION AND INSIDE/OUTSIDE CORNER DETAIL THIS AREA. REFER TO DETAILS 8, 11, AND 12 ON DRAWING SW301 AND SPECIFICATION SECTION 071400.
6. TIE WATERPROOFING SYSTEM TO DRAINAGE. REFER TO DETAILS 25, 26, AND 27 ON DRAWING SW303 AND SPECIFICATION SECTION 071400. COORDINATE WITH PLUMBING PLANS FOR LOCATIONS AND DETAILS.
7. REVIEW AND PREPARE JOINT CAVITY FOR EXPANSION JOINT INSTALLATION. REFER TO DETAIL 4 ON DRAWING SW301 AND SPECIFICATION SECTION 030100.
8. PROVIDE EXPANSION JOINT TYPE 1. REFER TO DETAIL 18 ON DRAWING SW302 AND SPECIFICATION SECTIONS 071400 AND 079000.
9. PROVIDE EXPANSION JOINT TYPE 2. REFER TO DETAIL 19 ON DRAWING SW302 AND SPECIFICATION SECTIONS 071400 AND 079000.
10. PROVIDE EXPANSION JOINT TYPE 3. REFER TO DETAIL 20 ON DRAWING SW302 AND SPECIFICATION SECTIONS 071400 AND 079000.
11. VERTICAL AND HORIZONTAL PENETRATION. REFER TO DETAILS 16 AND 23 ON DRAWING SW302 AND SPECIFICATION SECTION 071400.
12. PROVIDE MEMBRANE TERMINATION AT VERTICAL SURFACE. REFER TO SPECIFICATION SECTION 071400.
  - A. REFER TO DETAIL 10 ON DRAWING SW301.
  - B. REFER TO DETAIL 24 ON DRAWING SW302.
13. REFER TO LANDSCAPING PLANS FOR CURB WALL WATERPROOFING SYSTEM TO EXTEND UNDER WALL. REFER TO DETAIL 14 ON DRAWING SW302.
14. PROVIDE MEMBRANE HORIZONTAL EDGE TERMINATION. REFER TO DETAIL 6 ON DRAWING SW301.
15. PROVIDE MEMBRANE TERMINATION AT ALL FUTURE SITE FURNISHINGS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION AND DETAILS.
16. REPAIR DAMAGED MEMBRANE. REFER TO DETAIL 36 ON DRAWING SW303 AND SPECIFICATION SECTION 071400.
17. EXPANSION JOINT - REFER TO MUSIC VENUE DRAWINGS. TIE-IN MEMBRANE SYSTEM. REFER TO DETAIL 7 ON DRAWING SW301.
18. PROVIDE WING COMPRESSION SEAL EXPANSION JOINT FULL LENGTH OF EXISTING JOINT. REFER TO DETAIL 33 ON DRAWING SW303.
19. TERMINATE WATERPROOFING SYSTEM ON LIGHT POLE BASE. REFER TO DETAILS 34 AND 35 ON DRAWING SW303.
20. EXTEND MEMBRANE SYSTEM OVER AND DOWN DONOR WALL AND LAP 6" ONTO EXISTING MEMBRANE. REFER TO ARCHITECTURAL DRAWINGS FOR DETAIL.
21. PROVIDE MEMBRANE TERMINATION AT EXISTING EXPANSION JOINTS. REFER TO DETAILS 20 AND 27 ON DRAWING S402 FOR EDGE CONDITION. REFERENCE BID PACKAGE #5.
22. REMOVE EXISTING MEMBRANE AND PREPARE SURFACE FOR NEW HOT-APPLIED SYSTEM. REFER TO DRAWING NOTE 3 AND SPECIFICATION SECTION 071400.
23. NEW SLOT DRAIN SYSTEM INSTALLED AFTER MEMBRANE SYSTEM. REFER TO DETAIL 28 ON DRAWING SW303.

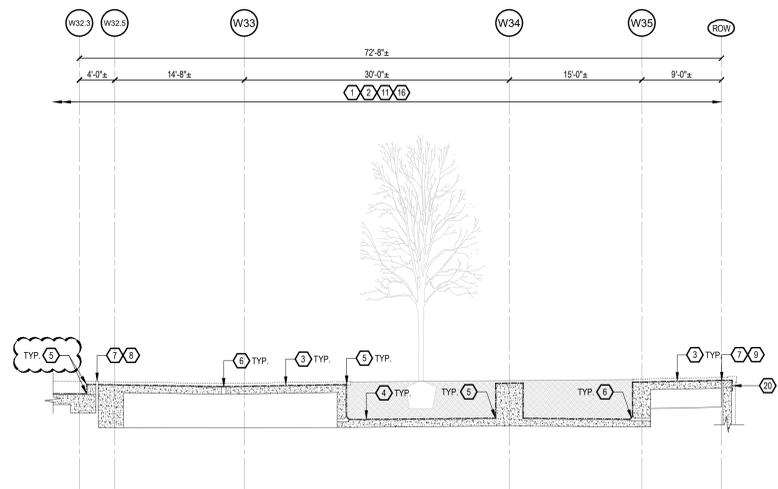
**LEGEND:**

- EXISTING CONCRETE STRUCTURE
- EXISTING CMU WALL
- NEW BURIED WATERPROOFING SYSTEM
- NEW CONCRETE OVERBUILD
- NEW EARTH
- PROPOSED FINISHED GRADE

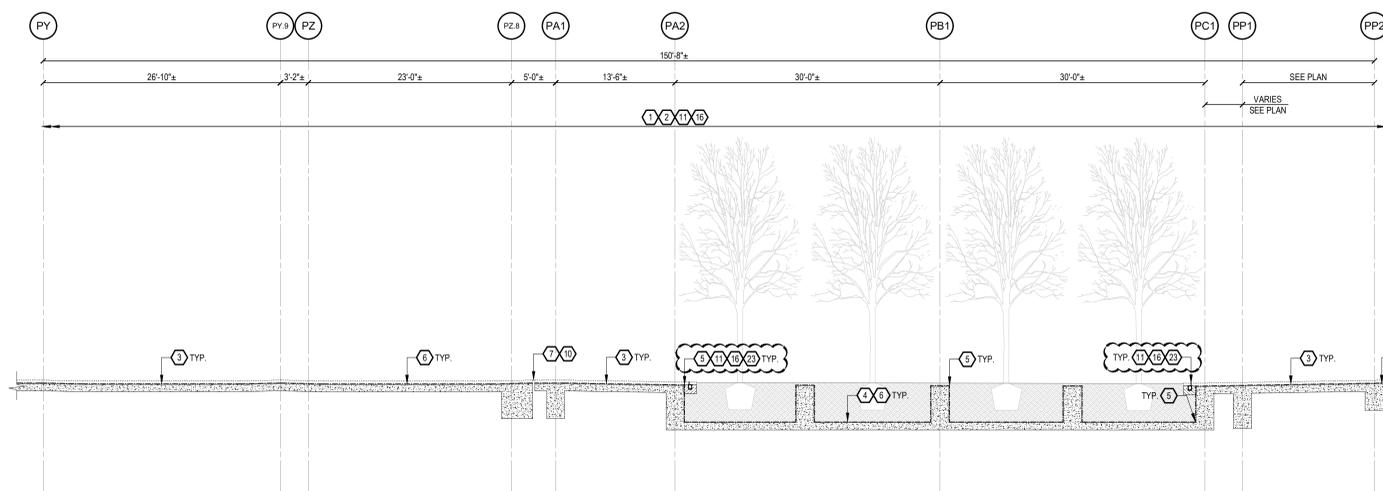
• WATERPROOFING SYSTEM NOT TO BE EXPOSED MORE THAN (1) MONTH PRIOR TO INSTALLING OVERBURDEN.  
• AFTER TEMPORARY PROTECTION IS REMOVED AND PRIOR TO INSTALLING OVERBURDEN, TEST ALL WATERPROOFING AND REPAIR AS NECESSARY. REFER TO SPECIFICATION SECTION 071400.



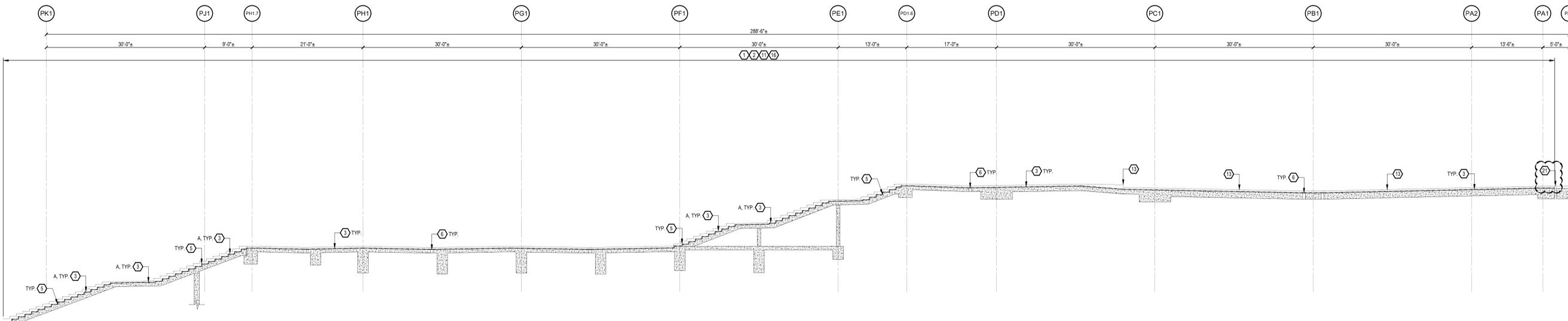
**1 SECTION**  
SW201 1/8" = 1'-0"



**2 SECTION**  
SW201 1/8" = 1'-0"



**3 SECTION**  
SW201 1/8" = 1'-0"



**4 SECTION**  
SW201 1/8" = 1'-0"

| NO. | DATE       | DESCRIPTION                  |
|-----|------------|------------------------------|
| 1   | 12/13/2019 | BID PACKAGE #6 - SCOPING SET |
| 2   | 3/12/2020  | BID PACKAGE #6               |
| 3   | 3/12/2020  | BID PACKAGE #6 - ADDENDUM #2 |



DRAWN BY: G.O.D.  
ENGINEER: A.S.  
CHECKED BY: J.D.M.

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
**WATERPROOFING  
SECTIONS**

JOB NUMBER: 98090.38  
DATE: 12/13/2019  
DRAWING NUMBER:

**SW201**



HAMILTON COUNTY  
RIVERFRONT PARKING  
AND INFRASTRUCTURE  
IMPROVEMENTS



THP Limited, Inc.  
Cincinnati • Cleveland  
100 East Eighth Street  
Cincinnati, Ohio 45202  
Phone: 513.341.3222  
www.thplid.com

**GENERAL NOTES:**

- A. REFER TO LANDSCAPE PLANS FOR PLANTINGS, SITE FURNISHINGS, AND JOINT/SCORING PATTERNS.
- B. REFER TO PLUMBING PLANS FOR DRAIN LOCATIONS AND DETAILS. DRAINS SHOWN FOR REFERENCE ONLY.
- C. REFER TO MEP PLANS FOR VERTICAL PENETRATION LOCATIONS AND DETAILS. BOLLARDS AND LIGHT POLES SHOWN FOR REFERENCE ONLY.
- D. COORDINATE WITH ENGINEER AND WATERPROOFING MANUFACTURER'S PREPARATION TO CONFIRM VERTICAL AND HORIZONTAL PENETRATION PRIOR TO PERFORMING WORK. REFER TO SPECIFICATION SECTION 071400.

**DRAWING NOTES:**

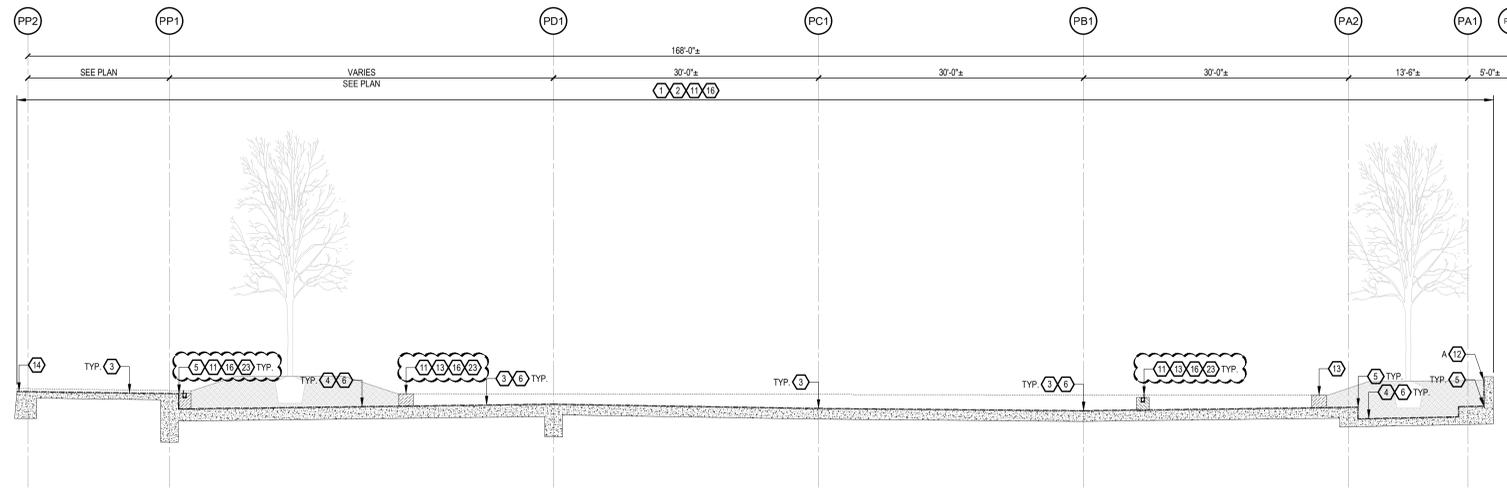
1. REVIEW AND PREPARE CONCRETE FOR MEMBRANE APPLICATION. REFER TO DETAILS 1 AND 3 ON DRAWING SW301 AND SPECIFICATION SECTION 032100.
2. PROVIDE TEMPORARY PROTECTION OF INSTALLED WATERPROOFING SYSTEMS UNTIL OVERBUILD IS PLACED. REFER TO SPECIFICATION SECTION 071400.
3. PROVIDE HOT-APPLIED REINFORCED WATERPROOFING MEMBRANE WITH PROTECTION SHEET AND DRAIN BOARD HORIZONTAL WITH FILTER FABRIC (U.N.O.) AT THIS AREA. LAPS IN PROTECTION COURSE TO BE SEALED WITH HOT-APPLIED MEMBRANE. REFER TO DETAIL 9 ON DRAWING SW301 AND SPECIFICATION SECTION 071400.
4. AT STAIRS, INSTALL DRAIN BOARD HORIZONTAL AND VERTICAL.
5. PROVIDE HOT-APPLIED REINFORCED WATERPROOFING MEMBRANE WITH PROTECTION SHEET, ROOT BARRIER ON VERTICAL AND HORIZONTAL SURFACES. PROVIDE DRAIN BOARD WITH FILTER FABRIC ON HORIZONTAL SURFACES. LAPS IN PROTECTION COURSE TO BE SEALED WITH HOT-APPLIED MEMBRANE. REFER TO DETAIL 9 ON DRAWING SW301 AND SPECIFICATION SECTION 071400.
6. PROVIDE MEMBRANE TERMINATION AND INSIDE/OUTSIDE CORNER DETAIL THIS AREA. REFER TO DETAILS 8, 11, AND 12 ON DRAWING SW301 AND SPECIFICATION SECTION 071400.
7. TIE WATERPROOFING SYSTEM TO DRAINAGE. REFER TO DETAILS 25, 26, AND 27 ON DRAWING SW303 AND SPECIFICATION SECTION 071400. COORDINATE WITH PLUMBING PLANS FOR LOCATIONS AND DETAILS.
8. REVIEW AND PREPARE JOINT CAVITY FOR EXPANSION JOINT INSTALLATION. REFER TO DETAIL 4 ON DRAWING SW301 AND SPECIFICATION SECTION 030100.
9. PROVIDE EXPANSION JOINT TYPE 1. REFER TO DETAIL 18 ON DRAWING SW302 AND SPECIFICATION SECTIONS 071400 AND 079000.
10. PROVIDE EXPANSION JOINT TYPE 2. REFER TO DETAIL 19 ON DRAWING SW302 AND SPECIFICATION SECTIONS 071400 AND 079000.
11. PROVIDE EXPANSION JOINT TYPE 3. REFER TO DETAIL 20 ON DRAWING SW302 AND SPECIFICATION SECTIONS 071400 AND 079000.
12. VERTICAL AND HORIZONTAL PENETRATION. REFER TO DETAILS 16 AND 23 ON DRAWING SW302 AND SPECIFICATION SECTION 071400.
13. PROVIDE MEMBRANE TERMINATION AT VERTICAL SURFACE. REFER TO SPECIFICATION SECTION 071400.
  - A. REFER TO DETAIL 10 ON DRAWING SW301.
  - B. REFER TO DETAIL 24 ON DRAWING SW302.
14. REFER TO LANDSCAPING PLANS FOR CURB WALL. WATERPROOFING SYSTEM TO EXTEND UNDER WALL. REFER TO DETAIL 14 ON DRAWING SW302.
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18. EXPANSION JOINT - REFER TO MUSIC VENUE DRAWINGS. TIE-IN MEMBRANE SYSTEM. REFER TO DETAIL 7 ON DRAWING SW301.
19. PROVIDE WING COMPRESSION SEAL EXPANSION JOINT FULL LENGTH OF EXISTING JOINT. REFER TO DETAIL 33 ON DRAWING SW303.
20. TERMINATE WATERPROOFING SYSTEM ON LIGHT POLE BASE. REFER TO DETAILS 34 AND 35 ON DRAWING SW303.
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24. NEW SLOT DRAIN SYSTEM INSTALLED AFTER MEMBRANE SYSTEM. REFER TO DETAIL 28 ON DRAWING SW303.

**LEGEND:**

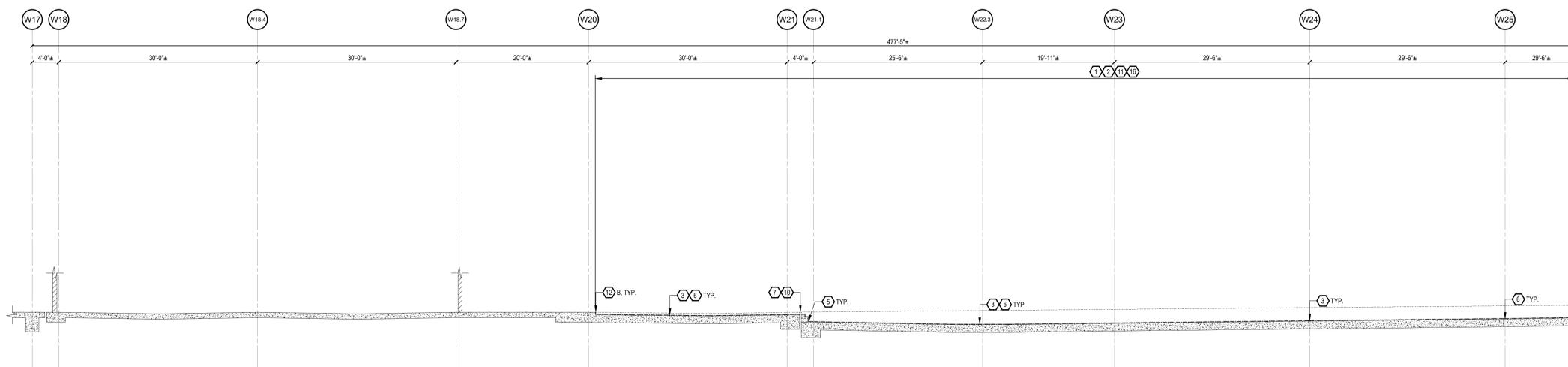
- EXISTING CONCRETE STRUCTURE
- EXISTING CMU WALL
- NEW BURIED WATERPROOFING SYSTEM (1, 2, 11, 16)
- NEW CONCRETE OVERBUILD
- NEW EARTH
- PROPOSED FINISHED GRADE

• WATERPROOFING SYSTEM NOT TO BE EXPOSED MORE THAN (1) MONTH PRIOR TO INSTALLING OVERBURDEN.

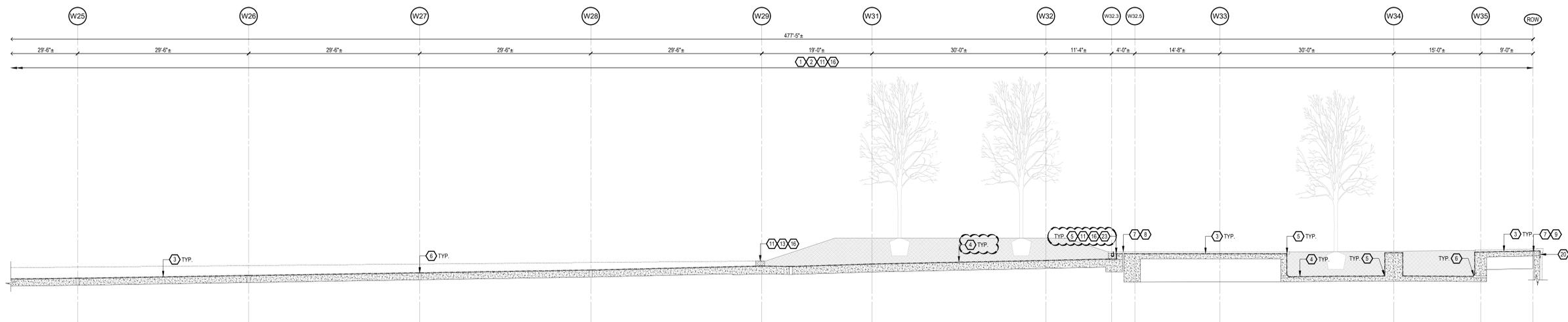
• AFTER TEMPORARY PROTECTION IS REMOVED AND PRIOR TO INSTALLING OVERBURDEN, TEST ALL WATERPROOFING AND REPAIR AS NECESSARY. REFER TO SPECIFICATION SECTION 071400.



**5 SECTION**  
SW202 1/8" = 1'-0"



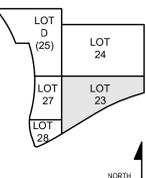
**6 SECTION**  
SW202 1/8" = 1'-0"



**6 SECTION (CONT.)**  
SW202 1/8" = 1'-0"

ISSUES

SOURCE: 1. 1/21/2020 BID PACKAGE #6 - SCOPING SET  
2. 3/21/2020 BID PACKAGE #6  
3. 3/12/2020 BID PACKAGE #6 - ADDENDUM #2



DRAWN BY: G.O.D.  
ENGINEER: A.S.  
CHECKED BY: J.D.M.

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
**WATERPROOFING  
SECTIONS**

JOB NUMBER DATE  
98090.38 12/13/2019  
DRAWING NUMBER

**SW202**



HAMILTON COUNTY  
RIVERFRONT PARKING  
AND INFRASTRUCTURE  
IMPROVEMENTS



THP Limited, Inc.  
Cincinnati • Cleveland  
100 East Eighth Street  
Cincinnati, Ohio 45202  
Phone: 513.341.3222  
www.thplid.com

**GENERAL NOTES:**

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- D. COORDINATE WITH ENGINEER AND WATERPROOFING MANUFACTURER'S PREPARATION TO CONFIRM VERTICAL AND HORIZONTAL PENETRATION PRIOR TO PERFORMING WORK. REFER TO SPECIFICATION SECTION 071400.

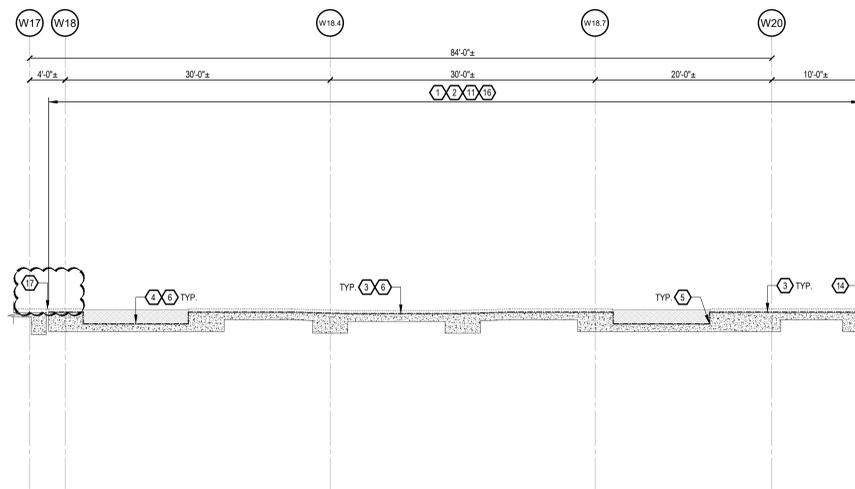
**DRAWING NOTES:**

1. REVIEW AND PREPARE CONCRETE FOR MEMBRANE APPLICATION. REFER TO DETAILS 1 AND 3 ON DRAWING SW301 AND SPECIFICATION SECTION 032100.
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3. PROVIDE HOT-APPLIED REINFORCED WATERPROOFING MEMBRANE WITH PROTECTION SHEET AND DRAIN BOARD HORIZONTAL WITH FILTER FABRIC (U.N.O.) AT THIS AREA. LAPS IN PROTECTION COURSE TO BE SEALED WITH HOT-APPLIED MEMBRANE. REFER TO DETAIL 5 ON DRAWING SW301 AND SPECIFICATION SECTION 071400.
  - A. AT STAIRS, INSTALL DRAIN BOARD HORIZONTAL AND VERTICAL.
4. PROVIDE HOT-APPLIED REINFORCED WATERPROOFING MEMBRANE WITH PROTECTION SHEET, ROOT BARRIER ON VERTICAL AND HORIZONTAL SURFACES. PROVIDE DRAIN BOARD WITH FILTER FABRIC ON HORIZONTAL SURFACES. LAPS IN PROTECTION COURSE TO BE SEALED WITH HOT-APPLIED MEMBRANE. REFER TO DETAIL 9 ON DRAWING SW301 AND SPECIFICATION SECTION 071400.
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12. PROVIDE MEMBRANE TERMINATION AT VERTICAL SURFACE. REFER TO SPECIFICATION SECTION 071400.
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17. EXPANSION JOINT - REFER TO MUSIC VENUE DRAWINGS. TIE-IN MEMBRANE SYSTEM. REFER TO DETAIL 7 ON DRAWING SW301.
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23. NEW SLOT DRAIN SYSTEM INSTALLED AFTER MEMBRANE SYSTEM. REFER TO DETAIL 28 ON DRAWING SW303.

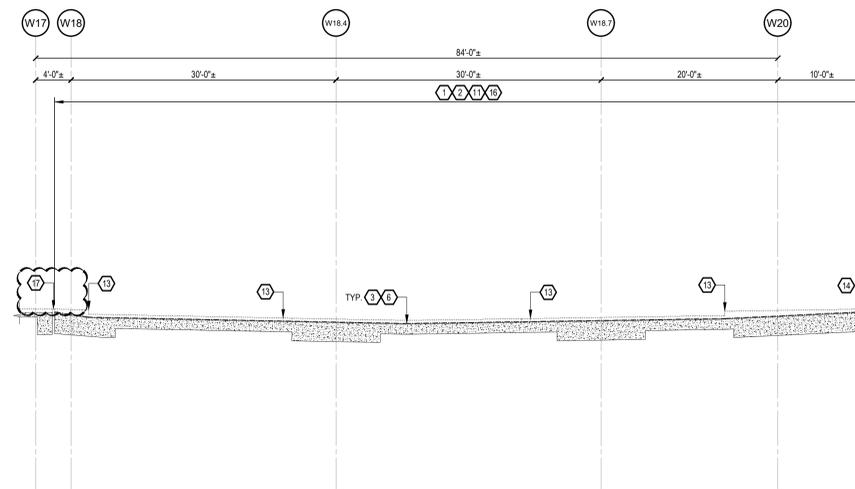
**LEGEND:**

- EXISTING CONCRETE STRUCTURE
- EXISTING CMU WALL
- NEW BURIED WATERPROOFING SYSTEM (1, 2, 11, 16)
- NEW CONCRETE OVERBUILD
- NEW EARTH
- PROPOSED FINISHED GRADE

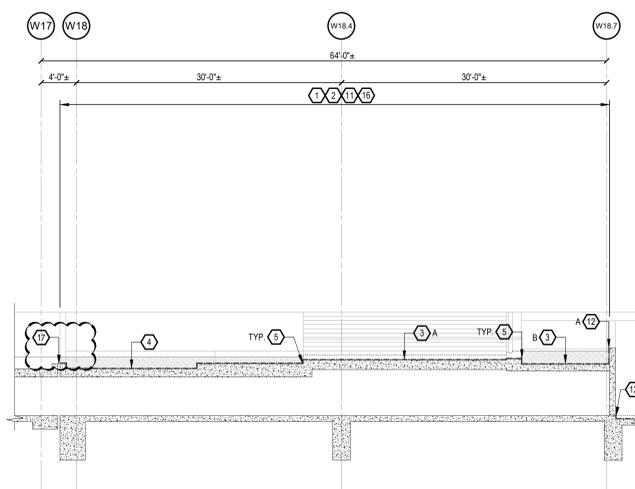
- WATERPROOFING SYSTEM NOT TO BE EXPOSED MORE THAN (1) MONTH PRIOR TO INSTALLING OVERBURDEN.
- AFTER TEMPORARY PROTECTION IS REMOVED AND PRIOR TO INSTALLING OVERBURDEN, TEST ALL WATERPROOFING AND REPAIR AS NECESSARY. REFER TO SPECIFICATION SECTION 071400.



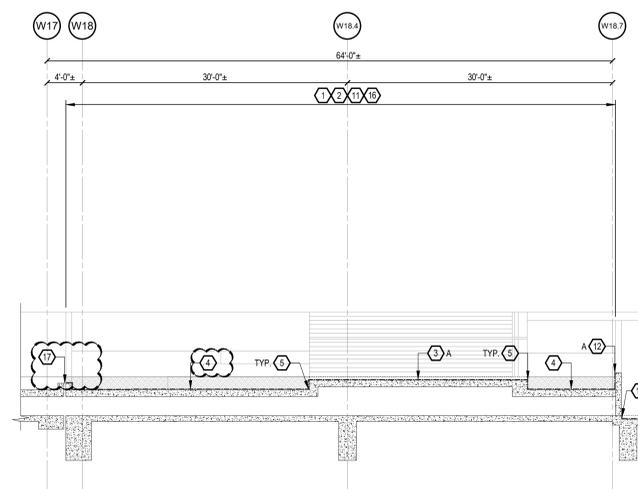
**7 SECTION**  
SW203 1/8" = 1'-0"



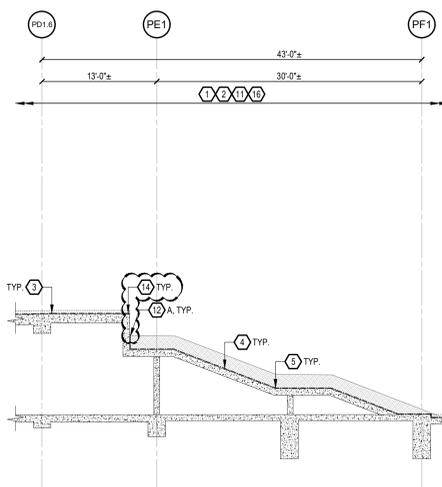
**8 SECTION**  
SW203 1/8" = 1'-0"



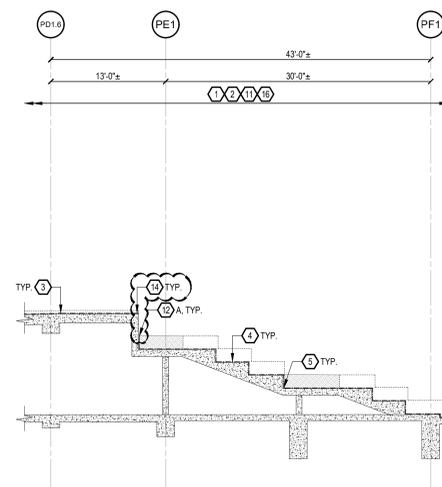
**9 SECTION**  
SW203 1/8" = 1'-0"



**10 SECTION**  
SW203 1/8" = 1'-0"

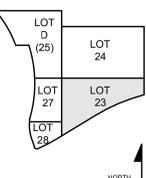


**11 SECTION**  
SW203 1/8" = 1'-0"



**12 SECTION**  
SW203 1/8" = 1'-0"

| NO. | DATE      | DESCRIPTION                  |
|-----|-----------|------------------------------|
| 1   | 1/11/2020 | BID PACKAGE #6 - SCOPING SET |
| 2   | 2/12/2020 | BID PACKAGE #6               |
| 3   | 3/12/2020 | BID PACKAGE #6 - ADDENDUM #2 |



DRAWN BY: G.O.D.  
ENGINEER: A.S.  
CHECKED BY: J.D.M.

**THE BANKS  
PHASE 3B**

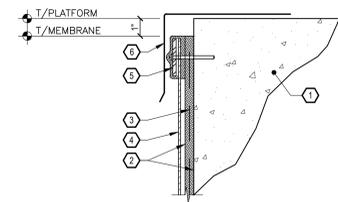
LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
**WATERPROOFING  
SECTIONS**

JOB NUMBER DATE  
98090.38 12/13/2019  
DRAWING NUMBER

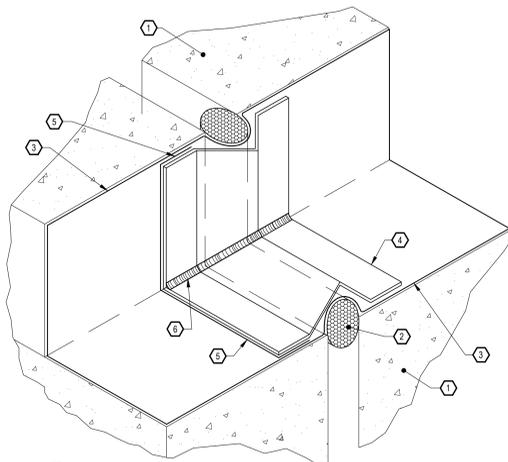
**SW203**





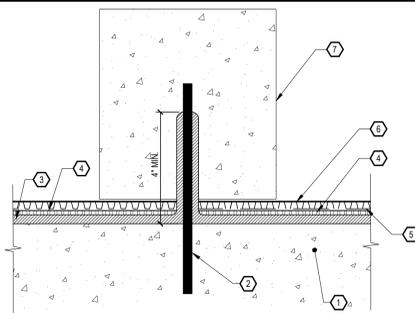
- 1 EXISTING CONCRETE STRUCTURE. PREPARE SURFACE TO RECEIVE NEW WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400.
- 2 PROVIDE NEW HOT APPLIED REINFORCED WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400.
- 3 PROVIDE REINFORCING FABRIC ENCAPSULATED IN NEW WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400. OVERLAP FABRIC ONTO NEOPRENE REINFORCING SHEET.
- 4 PROVIDE PROTECTION SHEET OVER WATERPROOFING MEMBRANE. INSTALL PROTECTION SHEET INTO HOT MEMBRANE. REFER TO SPECIFICATION SECTION 071400.
- 5 PROVIDE STAINLESS STEEL TERMINATION BAR ALONG TOP OF MEMBRANE. SECURE TO CONCRETE AT 12" O.C. ENCAPSULATE ALL EXPOSED ANCHOR HEADS WITH WATERPROOFING MEMBRANE FOR WATERTIGHT INSTALLATION. REFER TO SPECIFICATION SECTION 071400.
- 6 METAL FLASHING BY OTHERS. VERTICAL LEG FLASHING TO OVERLAP ONTO WATERPROOFING MEMBRANE AND CONCEAL MEMBRANE TERMINATION BAR.

13 **TYPICAL MEMBRANE TERMINATION AT METAL FLASHING (REFERENCE) DETAIL**  
SW302 NO SCALE



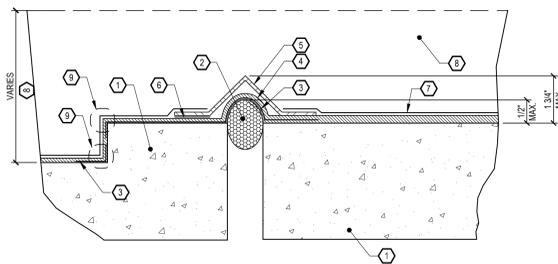
- 1 CONCRETE STRUCTURE.
- 2 PROVIDE CLOSED CELL BACKER ROD. DIMENSION TO BE 1.5 x JOINT WIDTH.
- 3 PROVIDE WATERPROOFING SYSTEM. REFER TO DETAIL 9 ON DRAWING SW301.
- 4 PROVIDE NEW 16 GA. STAINLESS STEEL PROTECTION COVER TO BE ATTACHED AT ONE SIDE ONLY AS SHOWN.
- 5 ADHERE NEW STAINLESS STEEL PROTECTION COVER TO PROTECTION SHEET WITH HOT ASPHALT SYSTEM PER MANUFACTURER'S RECOMMENDATIONS. INSTALL ADHESIVE ON THE HIGH SIDE OF THE JOINT.
- 6 PROVIDE NEW COVE SEALANT. REFER TO DETAIL 24 ON THIS DRAWING.

17 **TYPICAL EXPANSION JOINT TRANSITION (REFERENCE) DETAIL**  
SW302 NO SCALE



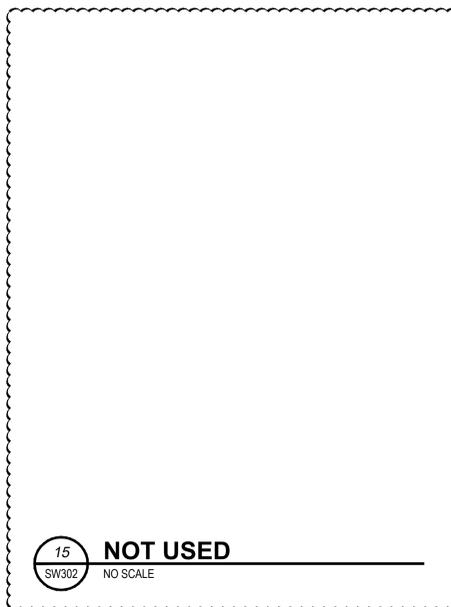
- 1 CONCRETE SLAB.
- 2 DOWEL / REBAR.
- 3 PROVIDE HOT FLUID APPLIED REINFORCED WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400. EXTEND MEMBRANE ONTO DOWEL / REBAR.
- 4 PROVIDE CONTINUOUS PROTECTION SHEET. REFER TO SPECIFICATION SECTION 071400.
- 5 PROVIDE CONTINUOUS ROOT BARRIER AT LOCATIONS AS SHOWN ON PLAN ONLY. REFER TO SPECIFICATION SECTION 071400.
- 6 PROVIDE CONTINUOUS DRAINAGE BOARD WITH FILTER FABRIC U.N.O. REFER TO SPECIFICATION SECTION 071400.
- 7 CONCRETE CURB. REFER TO ARCHITECT DRAWINGS FOR MORE INFORMATION.

14 **TYPICAL MEMBRANE AT REBAR / ANCHORS DETAIL**  
SW302 NO SCALE

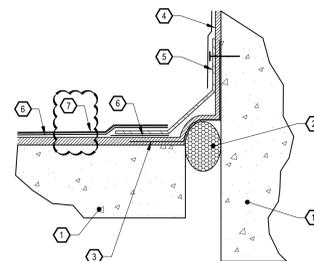


- 1 CONCRETE STRUCTURE.
- 2 PROVIDE CLOSED CELL BACKER ROD. DIMENSION TO BE 1.5 x JOINT WIDTH.
- 3 PROVIDE HEAVY DUTY REINFORCING FLASHING STRIP. REFER TO SPECIFICATION SECTION 071400.
- 4 PROVIDE NEW HOT APPLIED REINFORCED WATERPROOFING MEMBRANE. PROVIDE REINFORCING FABRIC ENCAPSULATED IN NEW WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400. OVERLAP FABRIC ONTO NEOPRENE FLASHING.
- 5 PROVIDE NEW 16 GA. STAINLESS STEEL PROTECTION COVER TO BE ATTACHED AT ONE SIDE ONLY AS SHOWN.
- 6 ADHERE NEW STAINLESS STEEL PROTECTION COVER TO PROTECTION SHEET WITH HOT ASPHALT SYSTEM PER MANUFACTURER'S RECOMMENDATIONS. INSTALL ADHESIVE ON HIGH SIDE OF JOINT.
- 7 PROVIDE PROTECTION SHEET AND DRAINAGE BOARD. REFER TO SPECIFICATION SECTION 071400.
- 8 SOIL AND LAWN BY OTHERS. REFER TO ARCHITECT DRAWINGS.
- 9 PROVIDE NEW COVE SEALANT PER DETAIL 24 ON THIS DRAWING AND CORNER REINFORCEMENT FLASHING PER DETAILS 11 AND 12 ON DRAWING SW301. WATERPROOFING MEMBRANE TO EXTEND VERTICALLY UP WALL.

18 **EXPANSION JOINT - TYPE "1" DETAIL**  
SW302 NO SCALE

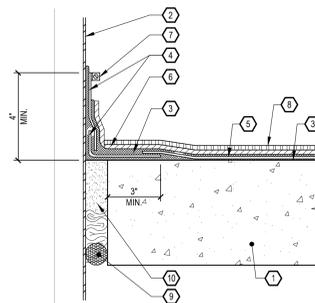


15 **NOT USED DETAIL**  
SW302 NO SCALE



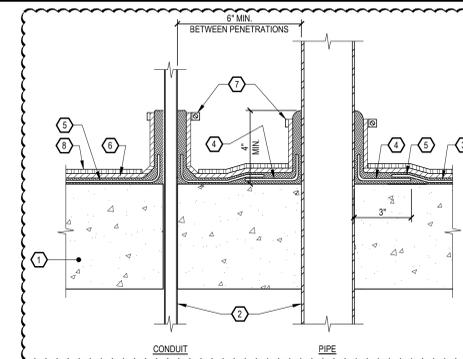
- 1 CONCRETE STRUCTURE.
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- 3 PROVIDE PREFORMED REINFORCING STRIP. REFER TO SPECIFICATION SECTION 071400.
- 4 PROVIDE NEW WATERPROOFING SYSTEM.
- 5 PROVIDE NEW 16 GA. STAINLESS STEEL PROTECTION COVER TO BE ATTACHED AT ONE SIDE ONLY AS SHOWN. SECURE WITH STAINLESS STEEL ANCHORS AT 12" O.C.
- 6 PROVIDE NEW PROTECTION SHEET. REFER TO SPECIFICATION SECTION 071400.
- 7 PROVIDE CONTINUOUS DRAINAGE BOARD WITH FILTER FABRIC U.N.O. REFER TO SPECIFICATION SECTION 071400.

19 **EXPANSION JOINT - TYPE "2" DETAIL**  
SW302 NO SCALE



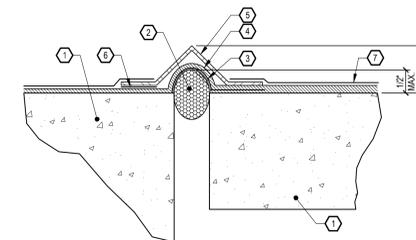
- 1 EXISTING CONCRETE STRUCTURE. PREPARE SURFACE TO RECEIVE NEW WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400.
- 2 EXISTING PIPE PENETRATION/VENT AND/OR CONDUIT. PREPARE SURFACE TO RECEIVE NEW WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400.
- 3 PROVIDE NEW HOT APPLIED REINFORCED WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400. EXTEND MEMBRANE ONTO PIPE/VENT AND/OR CONDUIT.
- 4 PROVIDE UNCURED NEOPRENE FLASHING AROUND PENETRATION. FULLY ENCAPSULATE IN MEMBRANE MATERIAL. REFER TO SPECIFICATION SECTION 071400.
- 5 PROVIDE REINFORCING FABRIC ENCAPSULATED IN WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400. OVERLAP FABRIC ONTO NEOPRENE FLASHING.
- 6 PROVIDE PROTECTION SHEET OVER WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400.
- 7 PROVIDE STAINLESS STEEL WORM DRIVE HOSE CLAMP.
- 8 PROVIDE DRAIN BOARD. WRAP EXPOSED EDGES OF DRAIN BOARD CORE WITH FILTER FABRIC. REFER TO SPECIFICATION SECTION 071400.
- 9 PROVIDE CLOSED CELL BACKER ROD OR MINERAL WOOL FILLER BETWEEN CONCRETE AND PIPE PENETRATION.
- 10 PROVIDE EPOXY GROUT: 2 COMPONENT, 100% SOLID EPOXY MIXED WITH CLEAN, DRY AGGREGATE PER EPOXY MANUFACTURER'S RECOMMENDATIONS.

23 **TYPICAL NON CAST-IN-PLACE PENETRATIONS (VERTICAL AND HORIZONTAL) DETAIL**  
SW302 NO SCALE



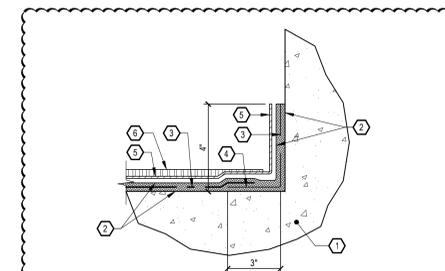
- 1 CONCRETE STRUCTURE. PREPARE SURFACE TO RECEIVE NEW WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400.
- 2 EXISTING PIPE PENETRATION/VENT AND/OR CONDUIT. PREPARE SURFACE TO RECEIVE NEW WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400.
- 3 PROVIDE NEW HOT APPLIED REINFORCED WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400. EXTEND MEMBRANE ONTO PIPE/VENT AND/OR CONDUIT.
- 4 PROVIDE UNCURED NEOPRENE FLASHING AROUND PENETRATION. FULLY ENCAPSULATE IN MEMBRANE MATERIAL. REFER TO SPECIFICATION SECTION 071400.
- 5 PROVIDE REINFORCING FABRIC ENCAPSULATED IN WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400. OVERLAP FABRIC ONTO NEOPRENE FLASHING.
- 6 PROVIDE PROTECTION SHEET OVER WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400.
- 7 PROVIDE STAINLESS STEEL WORM DRIVE HOSE CLAMP.
- 8 PROVIDE DRAIN BOARD. WRAP EXPOSED EDGES OF DRAIN BOARD CORE WITH FILTER FABRIC. REFER TO SPECIFICATION SECTION 071400.

16 **TYPICAL CAST-IN-PLACE PENETRATIONS (VERTICAL AND HORIZONTAL) DETAIL**  
SW302 NO SCALE



- 1 CONCRETE STRUCTURE.
- 2 PROVIDE CLOSED CELL BACKER ROD. DIMENSION TO BE 1.5 x JOINT WIDTH.
- 3 PROVIDE PREFORMED REINFORCING STRIP. REFER TO SPECIFICATION SECTION 071400.
- 4 PROVIDE WATERPROOFING SYSTEM.
- 5 PROVIDE NEW 16 GA. STAINLESS STEEL PROTECTION COVER TO BE ATTACHED AT ONE SIDE ONLY AS SHOWN.
- 6 ADHERE NEW STAINLESS STEEL PROTECTION COVER TO PROTECTION SHEET WITH HOT ASPHALT SYSTEM PER MANUFACTURER'S RECOMMENDATIONS. INSTALL ADHESIVE ON THE HIGH SIDE OF THE JOINT.
- 7 PROVIDE PROTECTION SHEET. REFER TO SPECIFICATION SECTION 071400.

20 **EXPANSION JOINT - TYPE "3" DETAIL**  
SW302 NO SCALE



- 1 CONCRETE STRUCTURE. PREPARE SURFACE TO RECEIVE NEW WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400.
- 2 PROVIDE NEW HOT APPLIED REINFORCED WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400.
- 3 PROVIDE REINFORCING FABRIC ENCAPSULATED IN NEW WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400. OVERLAP FABRIC ONTO NEOPRENE FLASHING.
- 4 PROVIDE CONTINUOUS UNCURED NEOPRENE FLASHING ENCAPSULATED IN WATERPROOFING MEMBRANE. REFER TO SPECIFICATION SECTION 071400.
- 5 PROVIDE PROTECTION SHEET OVER WATERPROOFING MEMBRANE. INSTALL PROTECTION SHEET INTO HOT MEMBRANE. REFER TO SPECIFICATION SECTION 071400.
- 6 PROVIDE DRAIN BOARD. WRAP EXPOSED EDGES OF DRAIN BOARD CORE WITH FILTER FABRIC. REFER TO SPECIFICATION SECTION 071400.

24 **TYPICAL MEMBRANE AT VERTICAL TRANSITION DETAIL**  
SW302 NO SCALE

21 **NOT USED DETAIL**  
SW302 NO SCALE

22 **NOT USED DETAIL**  
SW302 NO SCALE



HAMILTON COUNTY  
RIVERFRONT PARKING  
AND INFRASTRUCTURE  
IMPROVEMENTS



THP Limited, Inc.  
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Cincinnati, Ohio 45202  
Phone: 513.241.3222  
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| ISSUES |
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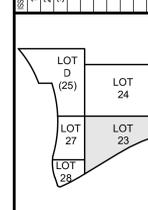
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|-------------|--------|
| DRAWN BY:   | G.O.D. |
| ENGINEER:   | A.S.   |
| CHECKED BY: | J.D.M. |

**THE BANKS  
PHASE 3B**

LOT 23/27/28 GARAGE &  
RACE ST. TURNAROUND

DRAWING TITLE  
**WATERPROOFING  
DETAILS**

JOB NUMBER DATE  
98090.38 12/13/2019  
DRAWING NUMBER

**SW302**



**GENERAL NOTES - CONDOC KEYNOTES**

The nomenclature of a typical Condoc Keynote is as follows:

e.g.: 09-2216-A004 3-5/8" METAL STUD

The first 6 digits refer to a Section of the Specifications. The following alpha character refers to the specific Bid Pack, i.e. in this example, Drawing Release "A". The suffix "004" is the specific indicator for a particular item, material, etc. Therefore, the suffix "004" would denote the same item in Section 09-2216, wherever indicated, regardless of referenced Bid Pack.

Various Condoc Keynotes occur on each sheet on which those specific notes are applicable. Where notes are missing from a specific drawing, refer to the Master List of Condoc Keynotes. All Condoc Keynotes applicable to the project are listed on the Master List.

| KEYNOTE NUMBER | DESCRIPTION  |
|----------------|--|
| 03-3000-A101   | CONCRETE STRUCTURE. REFER TO STRUCTURAL DRAWINGS.                    |
| 04-1000-A103   | GROUT/REINFORCING STEEL  |
| 04-1000-A105   | BLOCK FILLER   |
| 04-2000-A004   | CONCRETE MASONRY UNITS. NOMINAL 8-INCH THICK.                        |
| 05-5000-A101   | CHECKERED PLATE  |
| 05-5000-A107   | EXPANSION ANCHOR   |
| 07-1000-A101   | REINFORCED WATERPROOFING MEMBRANE                                    |
| 07-1000-A102   | MEMBRANE FLASHING  |
| 07-1000-A104   | DRAINAGE PROTECTION COURSE   |
| 07-2700-A103   | SPRAY POLYURETHANE FOAM AIR BARRIER                                  |
| 07-8200-A001   | SEALANT  |
| 07-9500-A101   | WATERTIGHT SPLIT SLAB/PLAZA-DECK EXPANSION JOINT SYSTEM              |
| 07-9500-A102   | PREFORMED, PRE-COMPRESSED, SELF-EXPANDING, SEALANT SYSTEM            |
| 07-9500-A103   | PREFORMED, PRE-COMPRESSED, SELF-EXPANDING, FIRE RATED SEALANT SYSTEM |
| 07-9500-A104   | THERMOPLASTIC RUBBER JOINT SEAL SYSTEM                               |
| 08-1100-A001   | HOLLOW METAL FRAME   |
| 32-1313-A101   | CONCRETE PAVING - SEE CIVIL DRAWINGS                                 |

**EXPANSION JOINT LEGEND**

-  EJ-1
-  EJ-2
-  EJ-3
-  EJ-4
-  EJ-5

**WATERPROOFING LEGEND**

-  AREA OF 07-1000 REINFORCED WATERPROOFING MEMBRANE



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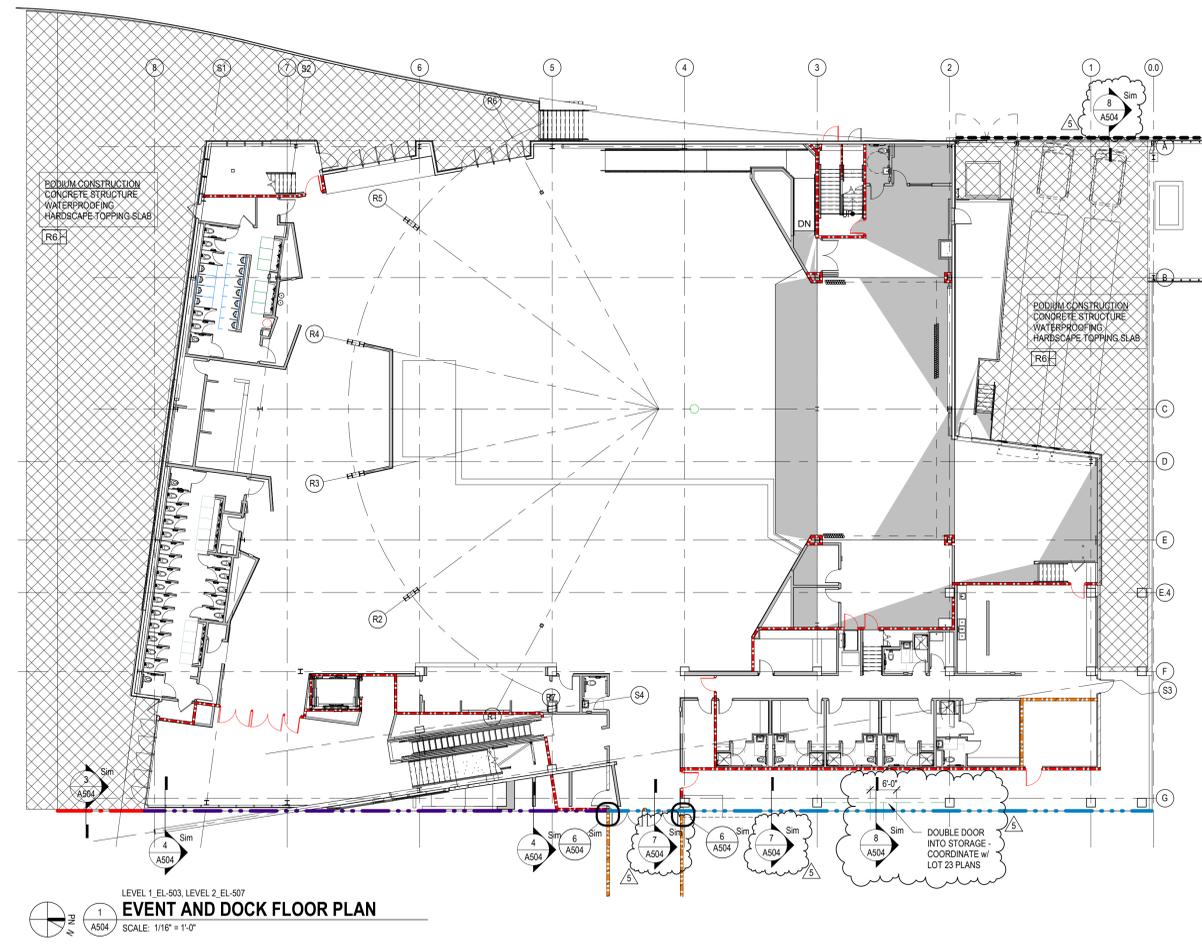
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| No. | Date     | Description              |
|-----|----------|--------------------------|
| 1   | 07/02/19 | CONTRACT DOCUMENTS       |
| 2   | 08/30/19 | PERMIT                   |
| 3   | 01/31/20 | CONSTRUCTION SET - CB#02 |
| 4   | 02/20/20 | BID PACKAGE 6            |
| 5   | 03/11/20 | B.P.#6 - ADDENDUM #2     |

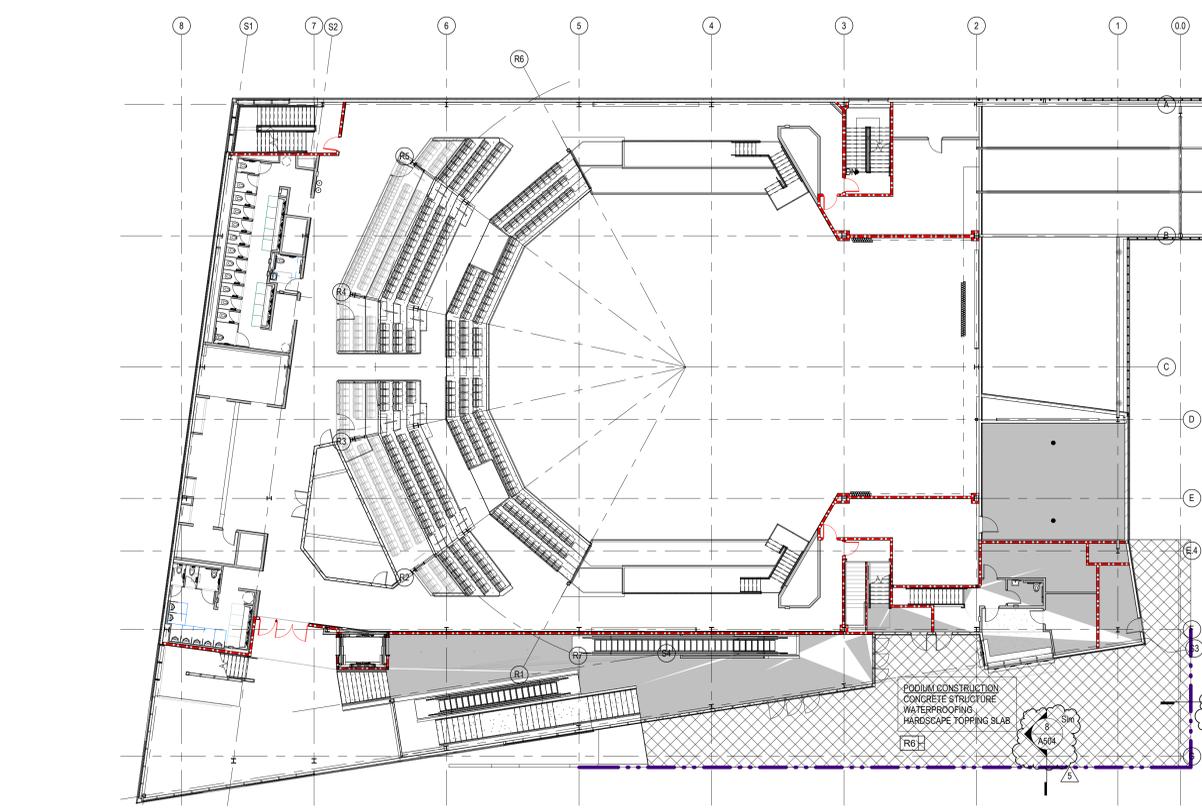
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**WATERPROOFING / EXPANSION JOINT PLANS & DETAILS**

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|-------------------------|
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| Scale:<br>As Indicated  |
| Date:<br>06/12/19       |

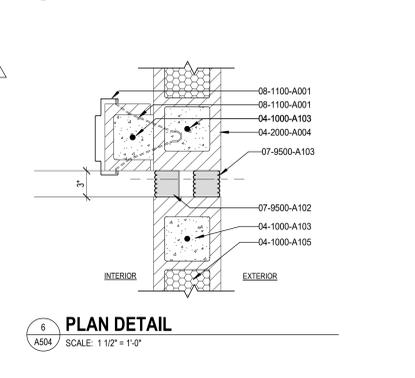
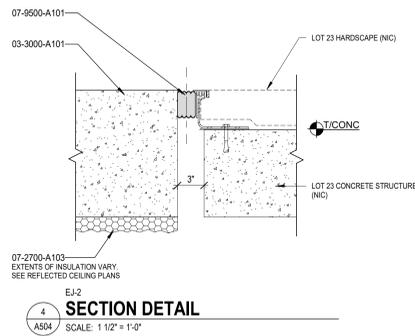
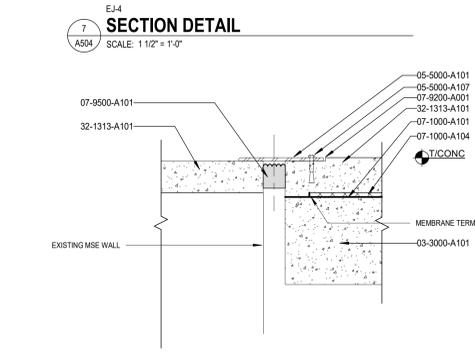
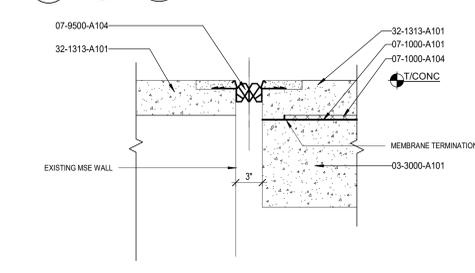
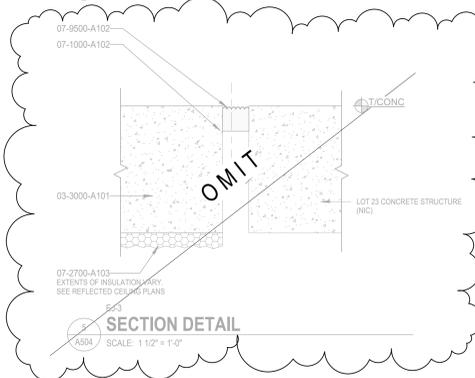
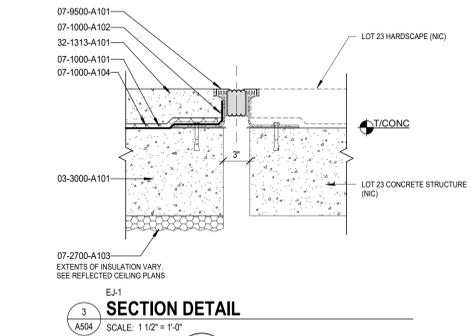
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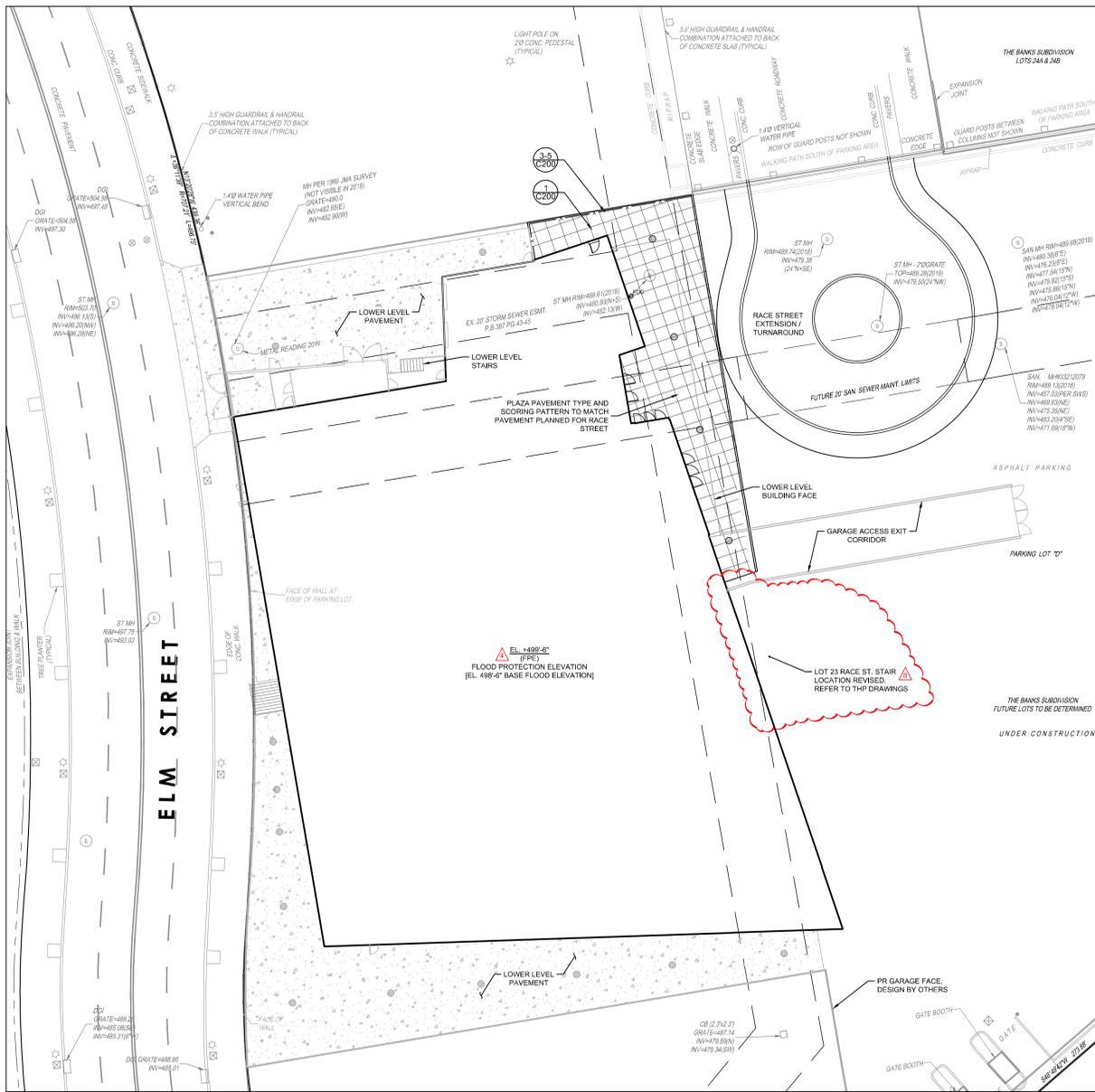


LEVEL 1, EL-503, LEVEL 2, EL-507  
**EVENT AND DOCK FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"



LEVEL 1, EL-503, LEVEL 2, EL-507  
**RACE AND BALCONY-1 FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"





VENUE - UPPER LEVEL

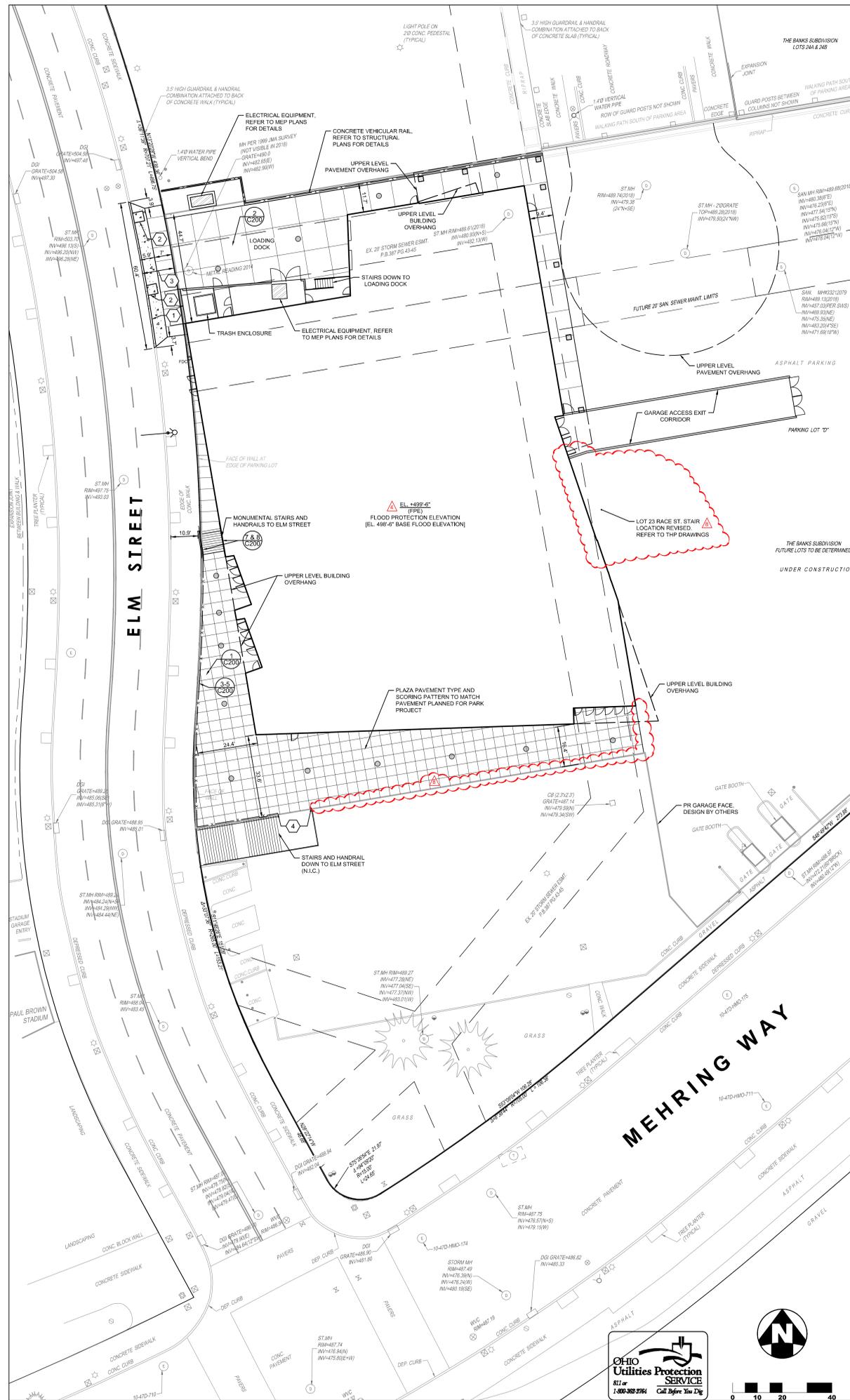


**CODED NOTES**

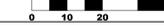
- 1 EX. CURB TO BE REMOVED
- 2 EX. TREE GRATE AND TREE TO BE REMOVED, CONTRACTOR TO COVER COST OF TREE VALUE AS DICTATED BY URBAN FORESTRY
- 3 PR. MOMENT SLAB WALK AND DRIVE ENTRANCE, REFER TO STRUCTURAL PLANS FOR DETAILS
- 4 CONTRACTOR TO COORDINATE GAUDDRAL TERMINATION AT EXISTING STAIR OPENING

**BID PACKAGE #6 NOTES**

- 1. EXTERIOR HANDRAIL EXTENTS - re: 1/C200 & 3-5/C200 REFERENCES.
- 2. PLAZA PAVEMENT - COORDINATE w/ ARCHITECTURAL A504 FOR DETAILS & DESCRIPTIONS.
- 3. re: RELATED SPECIFICATION SECTIONS (05 5213 & 05 5214, 32 1313 & 33 1100).
- 4. re: PLAN @ RIGHT FOR ELM ST SIDEWALK / APRON RE-WORK.



VENUE - LOWER LEVEL



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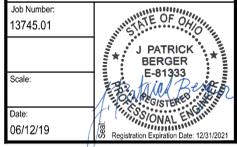
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Drawing Issue:  
**PERMIT SET**

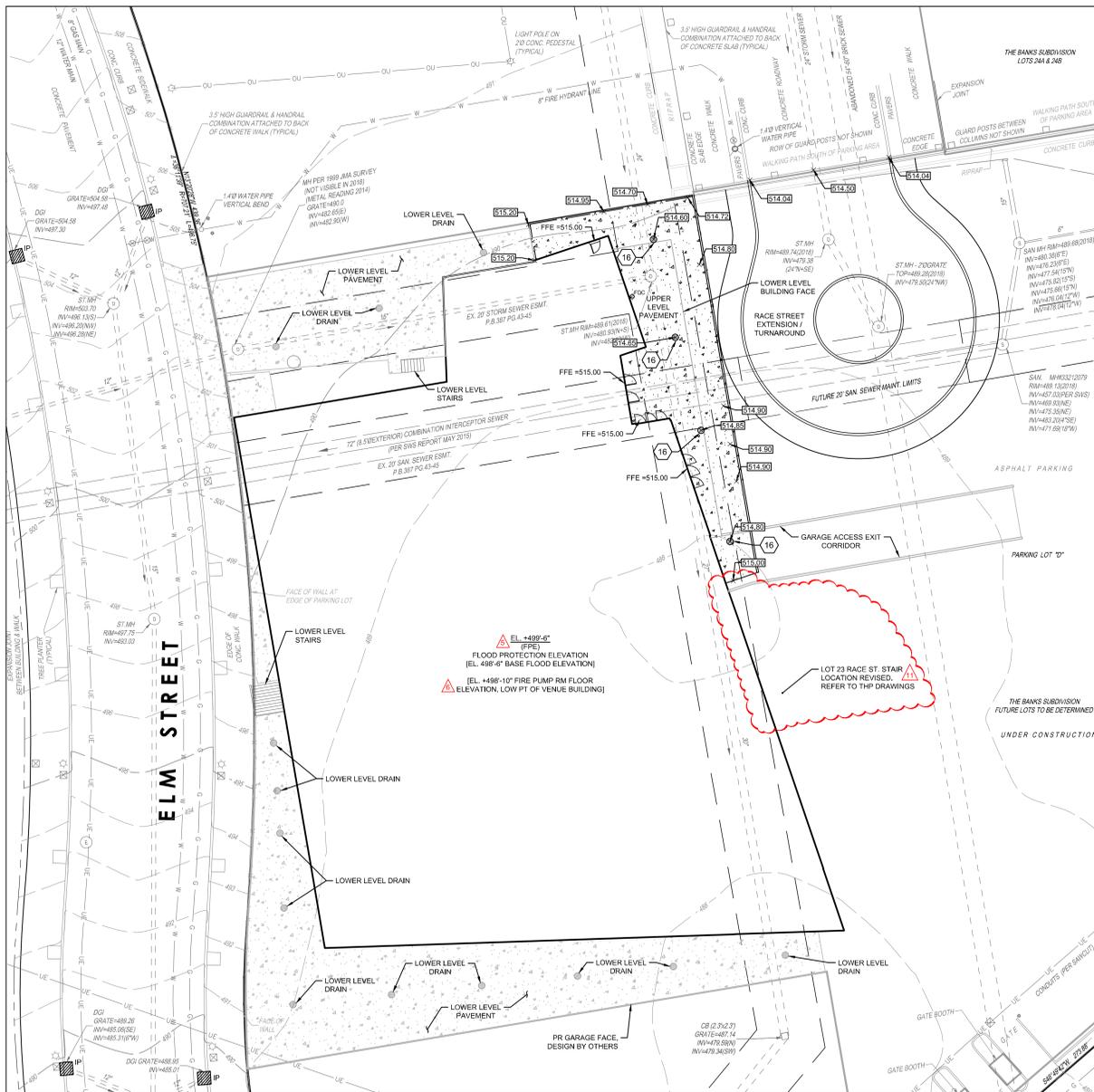
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|-----|----------|---------------------------|
| 1   | 06/13/19 | BID PACKAGE #3            |
| 2   | 07/02/19 | CONTRACT DOCUMENTS        |
| 3   | 08/30/19 | PERMIT                    |
| 4   | 10/29/19 | PERMIT - REVISED          |
| 5   | 01/31/20 | CONSTRUCTION SET - CB #02 |
| 6   | 02/21/20 | BID PACKAGE #6            |
| 7   | 03/03/20 | B.P.# - 1                 |
| 8   | 03/11/20 | B.P.# - ADDENDUM #2       |

Drawing Title:  
**SITE PLAN**

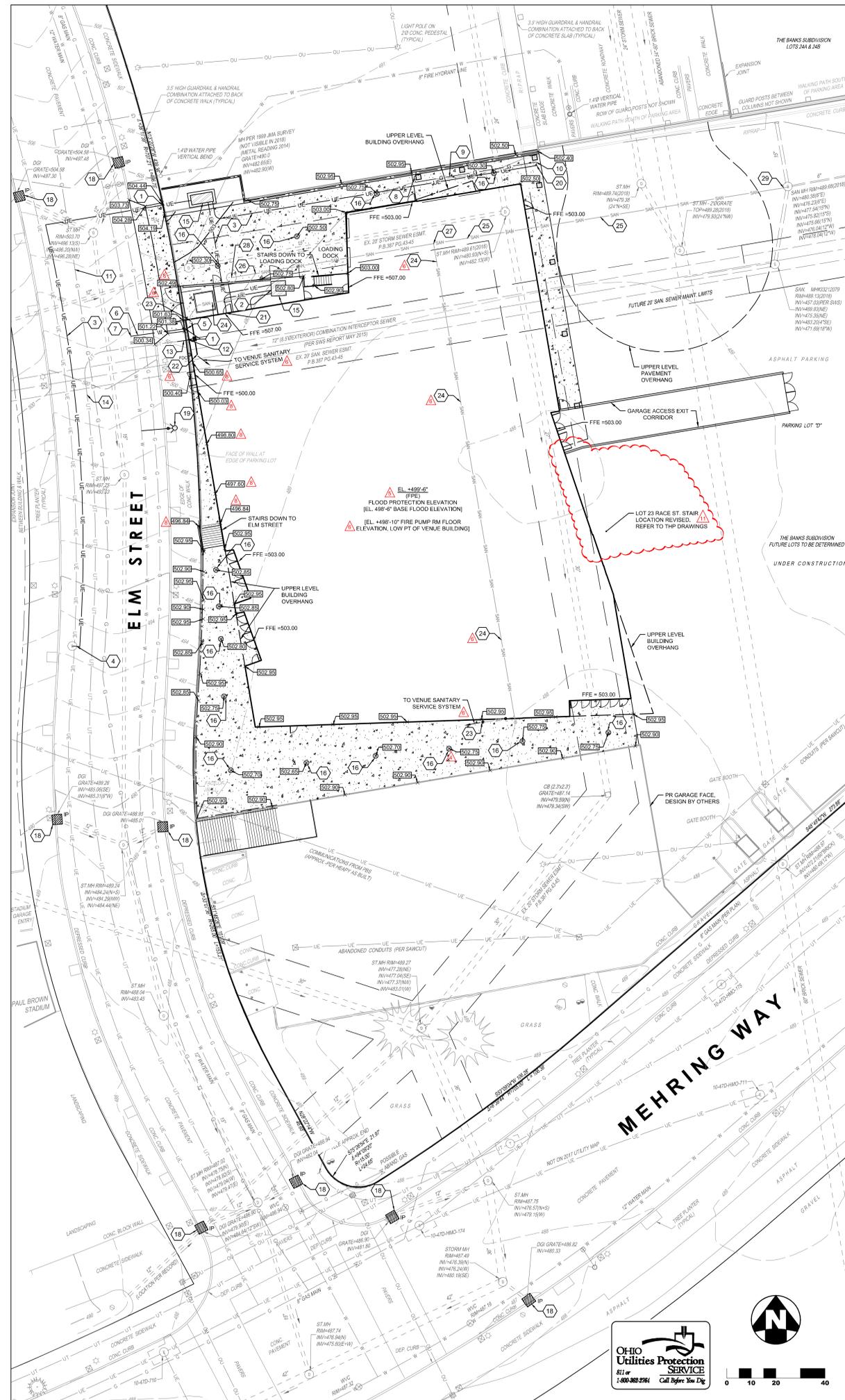
Job Number:  
 13745.01  
 Scale:  
 Date:  
 06/12/19



**C400**



VENUE - UPPER LEVEL



VENUE - LOWER LEVEL

**CODED NOTES**

- 1 UTILITY PENETRATION THROUGH MSE WALL
- 2 UNDERGROUND ELECTRIC CONNECTION TO PR TRANSFORMER, REFER TO MEP PLANS FOR DETAILS
- 3 PR UNDERGROUND ELECTRIC
- 4 PR UNDERGROUND ELECTRIC CONNECTION TO EX ELECTRICAL MANHOLE, CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY
- 5 PR WATER CONNECTION TO BUILDING, REFER TO MEP PLANS FOR CONTINUATION
- 6 PR 6" WATER
- 7 PR 6"x12" TAP TO EX WATER MAIN
- 8 PR GAS METER, REFER TO MEP PLANS FOR CONTINUATION
- 9 PR GAS
- 10 PR GAS CONNECTION TO BURIED HDPE GAS SERVICE (BY DUKE ENERGY)
- 11 GAS LINE BY OTHERS
- 12 PR COMMUNICATION LINE CONNECTION TO BUILDING, REFER TO MEP PLANS FOR CONTINUATION
- 13 PR COMMUNICATION LINE CONNECTION TO COMMUNICATION LINE BY OTHERS
- 14 COMMUNICATION LINE BY OTHERS
- 15 PR ELECTRICAL EQUIPMENT, REFER TO MEP PLANS FOR DETAILS
- 16 PR FLOOR DRAIN, REFER TO MEP PLANS FOR PIPE ROUTING
- 17 NOT USED
- 18 PR DANDY CURB BAG, REFER TO DETAIL 6, SHEET C200 FOR ADDITIONAL DETAILS
- 19 PR FIRE HYDRANT, BY OTHERS
- 20 PR UNDERGROUND ELECTRIC TO SUPPLY LOT 23, REFER TO MEP PLANS FOR DETAILS
- 21 PR UNDERGROUND ELECTRIC LINE CONNECTION TO BUILDING, REFER TO MEP PLANS FOR CONTINUATION
- 22 PR VENUE SANITARY SERVICE LINE PER BANKS PHASE 3B: BP#3 (CITY PERMIT #2019 P03002), FOR REFERENCE PURPOSES ONLY, REFER TO VENUE MEP PLANS FOR ALL CONNECTION POINTS AND ADDITIONAL DETAILS
- 23 PR CONNECTION POINT TO DEDICATED VENUE SEWER LATERAL, FROM VENUE SANITARY SERVICE SYSTEM PER BANKS PHASE 3B: BP#3 (CITY PERMIT #2019 P03002), AND BANKS PHASE 3B: BP#2 (CITY PERMIT #2019 P03000), FOR REFERENCE PURPOSES ONLY, REFER TO VENUE MEP AND GARAGE MEP PLANS FOR ADDITIONAL DETAILS

**CODED NOTES CONT.**

- 24 SEWER LATERAL BY OTHERS DEDICATED TO MUSIC VENUE BUILDING, PER BANKS PHASE 3B: BP#2 (CITY PERMIT #2019 P03000), FOR REFERENCE PURPOSES ONLY, REFER TO GARAGE TEAM MEP AND CIVIL PLANS FOR ALL CONNECTION POINTS AND ADDITIONAL DETAILS
- 25 SEWER MAIN BY OTHERS, PER BANKS PHASE 3B: BP#2 (CITY PERMIT #2019 P03000), FOR REFERENCE PURPOSES ONLY, REFER TO GARAGE TEAM MEP AND CIVIL PLANS FOR ALL CONNECTION POINTS AND ADDITIONAL DETAILS
- 26 SEWER LATERAL CONNECTION TO SEWER MAIN BY OTHERS, 6" LATERAL TAP INV=478.01, 12" SEWER MAIN INV=477.51, PER BANKS PHASE 3B: BP#2 (CITY PERMIT #2019 P03000), FOR REFERENCE PURPOSES ONLY, REFER TO GARAGE TEAM CIVIL PLANS FOR ADDITIONAL DETAILS
- 27 SEWER LATERAL CONNECTION TO SEWER MAIN BY OTHERS, 8" LATERAL TAP INV=477.88, 12" SEWER MAIN INV=477.16, PER BANKS PHASE 3B: BP#2 (CITY PERMIT #2019 P03000), FOR REFERENCE PURPOSES ONLY, REFER TO GARAGE TEAM CIVIL PLANS FOR ADDITIONAL DETAILS
- 28 GARAGE SANITARY MH, RIM ELEV=488.434, PR 12" INV=477.55, PER BANKS PHASE 3B: BP#2 (CITY PERMIT #2019 P03000), FOR REFERENCE PURPOSES ONLY, REFER TO GARAGE TEAM MEP AND CIVIL PLANS FOR ALL CONNECTION POINTS AND ADDITIONAL DETAILS
- 29 GARAGE SANITARY LINE CONNECTION TO EX MH, PR 12" INV=476.58, PER BANKS PHASE 3B: BP#2 (CITY PERMIT #2019 P03000), FOR REFERENCE PURPOSES ONLY, REFER TO GARAGE TEAM CIVIL PLANS FOR ALL CONNECTION POINTS AND ADDITIONAL DETAILS

**NOTES:**

- 1. SANITARY SERVICE TAP MATERIAL TO BE 6" PVC SDR-35 @ 2% MINIMUM SLOPE
- 2. IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY



**BID PACKAGE #6 NOTES**

- 1. EXTERIOR HANDRAIL EXTENTS - re: 1/C200 & 3-5/C200 REFERENCES.
- 2. PLAZA PAVEMENT - COORDINATE w/ ARCHITECTURAL A504 FOR DETAILS & DESCRIPTIONS.
- 3. re: RELATED SPECIFICATION SECTIONS (05 5213 & 05 5214, 32 1313 & 33 1100).
- 4. re: PLAN @ RIGHT FOR ELM ST SIDEWALK / APRON RE-WORK.



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 859.240.1390

**FOOD SERVICE**  
 CINCI LITTLE INTERNATIONAL, INC.  
 200 E HOWARD AVE, STE 212  
 DES PLAINES, IL 60018  
 244.361.8243

**PERMIT SET**

| No. | Date     | Description               |
|-----|----------|---------------------------|
| 1   | 06/12/19 | BID PACKAGE #3            |
| 2   | 07/02/19 | CONTRACT DOCUMENTS        |
| 3   | 08/30/19 | PERMIT                    |
| 4   | 10/11/19 | SOUTH GRADE REVISIONS     |
| 5   | 10/29/19 | PERMIT - REVISED          |
| 6   | 12/05/19 | M&D REVISIONS             |
| 7   | 01/31/20 | CONSTRUCTION SET - CB #02 |
| 8   | 02/05/20 | RFI 074 RESPONSE          |
| 9   | 02/21/20 | BID PACKAGE #6            |
| 10  | 03/03/20 | BP#6 Addn. 1              |
| 11  | 03/11/20 | B.P.#6 - ADDENDUM #2      |

Drawing Title:  
**GRADING AND UTILITY PLAN**

Job Number:  
 13745.01

Scale:  
 Date:  
 06/12/19

**C500**

