

The Banks – Phase 3C
Public Infrastructure Development
Bid Package #2 – Lot 28 Park & Garage
January 13, 2022
THP #98090.40

ADDENDUM #2

GENERAL COMMENTS:

1. Post bid review meeting will be held on January 24, 2022.

QUESTIONS AND ANSWERS:

1. **A350** – Drawing A102 has a blow-up drawing noted, 1/A350 at granite clad display area. A 350 is not in drawing packet. Can you please provide.
 - **Response to question 1:** See new Drawing A350 in Addendum #2.
2. **A341** – Details 1 & 2 do not show concrete back up walls or soffits. Is this correct?
 - **Response to question 2:** No, there is to be a concrete backup wall. See revised Drawing A341 in Addendum #2.
3. **A206** – Details 3 & 4. Please provide dimensions and reinforcing for the granite cladding seat wall (4/A206)
 - **Response to question 3:** See Drawings A205 & A206 in Addendum #1 for seat dimensions. For reinforcing, see updated Section 11/S201 in Addendum #2.
4. **A510.1** Please provide reinforcing details, elevations, and dimensions for all concrete back up foundations, for granite elements.
 - **Response to question 4:** See revised Drawing A510.1 in Addendum #2.
5. **A510.1** Detail 2/A510.1 depicts a granite structure to the east of the of the viewing screen structure. Please provide details for this area?
 - **Response to question 5:** See new Drawings A350, A351 & A352 in Addendum #2.
6. **A510.2** Please provide reinforcing details, elevations, and dimensions for all concrete back up foundations, for granite elements.
 - **Response to question 6:** See revised Drawing A510.2 in Addendum #2.
7. **S101** – Please define the structural connections for grade beams and walls shown outside the SOG footprint. Will current contractor furnish dowel savers in existing construction or will TC 03 contractor be required to drill and dowel to existing grade beams, pile caps, and walls.
 - **Response to question 7:** At west side, where retaining wall meets basement wall, see Plan Note 12 on Drawing S101. Coordinate with CM if the footing and pile cap will be poured integral. If not, DBR's will be provided in BP #1 to connect pile cap to the retaining wall footing. At east side, new retaining wall

footing will pour on top of BP #1 grade beam – no dowels required. Per keynote 11, both walls have an expansion joint; no connection required for the walls.

8. **A102** – Please provide details for granite backup concrete for planter structures located between column lines W11.6 thru W12.4 / 4 thru 7.
 - **Response to question 8:** See revised drawings in Addendum #2.
9. **A202** – Please provide top of wall/curb for details 5,6,7. This curb and wall will sit on the upturn beam located at along column line PJ1.
 - **Response to question 9:** See revised Drawing A202 in Addendum #2 and refer to details 10 & 15/S401.
10. **A230** – Please provide detail 7/A230.
 - **Response to question 10:** See revised Drawing A230 in Addendum #2.
11. Please confirm that all third party testing agencies are hired and paid for by the owner including the third party testing agency for monitoring the settling plates.
 - **Response to question 11:** All Third Party Testing is by the Owner.
12. The schedule shows the concrete site walls, walkways, and site stairs starting right after the completion of structural soil fill. The schedule also has an activity for a 15 day settling period for the structural soil fill. The settling period and concrete site walls, walkways and stairs activities are happening at the same time. Does the settling period need to be complete before the concrete work can begin?
 - **Response to question 12:** The schedule calls for starting the walks South to North. This is intended to allow the deepest parts of the soil to have the time needed to settle. Terracon believes the majority of settlement will take place quickly with the remaining 1/2-1" taking place over the 15 days. Final tie into the podium will be dependent on settling plates located at the deepest locations.
13. Refer to S101. Is the battered wall along Elm St. between column lines PJ1.2 and PL1 part of TC-03 scope of work?
 - **Response to question 13:** The part of this wall that is above the podium slab (from elevation 497.67' up) is part of the TC-03 scope of work (the section of the wall below the podium slab is part of BP #1).
14. Refer to S101. Is the battered wall along Elm St. between column lines PL1 and PN1 part of TC-03 scope of work?
 - **Response to question 14:** Yes, this wall is part of the TC-03 scope of work.
15. Please confirm that the only footings/grade beams/ foundation systems to be included in TC-03 scope of work are the ones associated with the walls installed under this package.
 - **Response to question 15:** Confirmed. Only the foundations required to complete the walls and site concrete are required. Refer to the Referenced BP#1 Addendum #2 produced in BP#2 Addendum #1 for more clarity of what was included in the previous Package.

16. TC-03 Contract Description, item 13, states light pole bases are by TC-03. TC-04 Contract Description, item 31, states light pole bases are by TC-04. Please confirm which Trade Contract is to include the light pole bases.

- **Response to question 16:** See revised Summary of Work included in Addendum #2.

17. Drawing A206, revised in Addendum #1, references a detail 7/A230. There s not a detail 7 on A230. Please provide.

- **Response to question 17:** See revised Drawing A230 in Addendum #2.

PROJECT MANUAL:

1. Section 000100 – PROJECT MANUAL INDEX (Reissued Document).
2. Section 000115 – DRAWING INDEX (Reissued Document).
3. Section 011100 – SUMMARY OF WORK (Reissued Document).
4. Section 071300 – SHEET MEMBRANE WATERPROOFING (New Document).

DRAWINGS:

1. **Drawing C102.1:** (Sheet Reissued)
 - Revised Rim elevation M100.
 - Revised Mehring Way clean out elevation.
 - Revised Elm Street clean out elevation.
2. **Drawing C103:** (Sheet Reissued)
 - Revised grading in landscape areas.
 - Wall extended 7' west on radial line 5, revised grading at wall/landscaping.
3. **Drawing A002:** (New Sheet Issued)
 - Revised drawing per clouded areas.
4. **Drawing A101:** (Sheet Reissued)
 - Revised drawing per clouded areas.
5. **Drawing A102:** (Sheet Reissued)
 - Revised drawing per clouded areas.
6. **Drawing A202:** (Sheet Reissued)
 - Granite finish clarifications and updates.
7. **Drawing A220:** (Sheet Reissued)
 - Bollard detail removed/replaced.
 - Shading updated.
8. **Drawing A230:** (Sheet Reissued)
 - Details revised, see drawing per clouded areas.

9. **Drawing A240:** (Sheet Reissued)
 - Handrail details revised, see clouded areas.
 - Elm Street stair handrail added.
10. **Drawing A250:** (Sheet Reissued)
 - Revised drawing per clouded areas.
11. **Drawing A260:** (New Sheet Issued)
 - Revised drawing per clouded areas.
12. **Drawing A261:** (New Sheet Issued)
 - Revised drawing per clouded areas.
13. **Drawing A300:** (Sheet Reissued)
 - Granite finish clarification and geometric updates per clouded areas.
14. **Drawing A301:** (Sheet Reissued)
 - Granite finish clarification and geometric updates per clouded areas.
15. **Drawing A302:** (Sheet Reissued)
 - Granite finish clarification and geometric updates per clouded areas.
16. **Drawing A310:** (Sheet Reissued)
 - Granite finish clarification and geometric updates per clouded areas.
17. **Drawing A320:** (Sheet Reissued)
 - Granite finish clarification and geometric updates per clouded areas.
18. **Drawing A330:** (Sheet Reissued)
 - Granite finish clarification and geometric updates per clouded areas.
19. **Drawing A340:** (Sheet Reissued)
 - Granite finish clarification and geometric updates per clouded areas.
20. **Drawing A341:** (Sheet Reissued)
 - Granite finish clarification and geometric updates per clouded areas.
21. **Drawing A350:** (New Sheet Issued)
 - Fountain and Lower Landing Display.
22. **Drawing A351:** (New Sheet Issued)
 - Lower Landing Display Sections and Details.
23. **Drawing A352:** (New Sheet Issued)
 - Fountain Sections.
24. **Drawing A360:** (Sheet Reissued)
 - Granite finish clarification and geometric updates per clouded areas.

25. Drawing A361: (Sheet Reissued)

- Granite finish clarification and geometric updates per clouded areas.

26. Drawing A370: (Sheet Reissued)

- Granite finish clarification and geometric updates per clouded areas.

27. Drawing A371: (Sheet Reissued)

- Granite finish clarification and geometric updates per clouded areas.

28. Drawing A372: (Sheet Reissued)

- Granite finish clarification and geometric updates per clouded areas.

29. Drawing A508.1: (New Sheet Issued)

- Added new sheet to address upper landing bench (plans/elevations)

30. Drawing A510.1: (Sheet Reissued)

- Added granite bench details w/ structural notes (Baker question 4).
- Updated section w/ detail callout.
- Added new section to address east granite seat cluster (Baker question 5).
- Added notes for top of bench for scattered benches.

31. Drawing A510.2: (Sheet Reissued)

- Updated foundation layout
- Updated sections to respond to new foundation layout
- Added details w/ structural notes (Baker question 6)

32. Drawing A512.1: (Sheet Reissued)

- Added section and elevation (missing info).
- Added notes to elevations.

33. Drawing A513: (Sheet Reissued)

- Added new elevation
- Added notes & elevation marker

34. Drawing P001: (Sheet Reissued)

- Revised "Irrigation Booster Pump Detail" to accommodate new pump design basis. Added irrigation components.
- Added Equipment Data to specify irrigation pump design Basis.
 - New pump has been down rated from 5 HP to 1.5 HP. Refer to new verbiage for further details.

35. Drawing P101A: (Sheet Reissued)

- Lot 23 Plan: Relocated Booster pump assembly location from "Extra Room" to "Sprinkler Room". Revised pipe sizes.
- Lower Level Plan:
 - Removed large portion of new 1.5" NPW piping extending from Lot 23 connection to the east, to supply riser location. Due to revised pressure and flow requirements, irrigation supply can now be tapped from adjacent existing 1" NPW main as shown.

- Lot 28 Hose bibbs and yard hydrants require a separate water supply system, and have been separated from the irrigation piping. Provided new 0.75" NPW tap in Lot 27, and extended into Lot 28.

36. Drawing P101: (Sheet Reissued)

- Below grade yard hydrant piping not shown in previous submittal. Piping added for clarity. Drawing notes 4 and 5 added for description of hydrant work and specification.
- Hose bibbs and yard hydrants shown on separate NPW system fed from lot 27.

37. Drawing E002: (Sheet Reissued)

- Revised PL6 fixture and pole type.
- Revised S1 fixture catalog number.

38. Drawing E003: (Sheet Reissued)

- BP-1 removed from Panelboard L-23.
- BP-1 added to Panelboard RP23A.
- Added lighting circuit to Panelboard L-23.

39. Drawing E201: (Sheet Reissued)

- Revised Upper Level Lighting Plan and layout.
- Added plan for relocating street pole lights.
- Revised Note 8 & 13 and added Notes 17 – 21.
- Booster pump BP-1 was revised from 5HP-480V-3PH to 1.5HP-208V-1PH

40. Drawing E301: (Sheet Reissued)

- Booster pump BP-1 circuit information revised to allow for revised pump voltage.

41. Drawing SW101: (Drawing Clarifications)

- Drawing Hex Notes:
 - Modify Hex note #1 to read:
"Review and prepare concrete for membrane application. Refer to details 1 and 2 on drawing SW301 and specification section 030100."
- Drawing Legend:
 - Change hex note #4 to #10.
 - Change hex note #5 to #6.
 - Change hex note #6 to #7.

42. Drawing SW201: (Drawing Clarifications)

- Add Hex Note #13:
 - "Review and prepare concrete for expansion joint installation. Refer to details 1, 2, and 3 on drawing SW301 and specification section 030100."
- Detail 3:
 - Change hex note #3 to #13.
 - Change hex note #3 to #13.
 - Change hex note #5 to #51.
- Detail 8:
 - Change hex note #3 that is pointing to the expansion joint hex note #13.
 - Change hex note #16 to #11.

GENERAL:

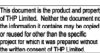
1. Provide (4) Litter Receptacles:
 - a. Manufacturer: Landscape Forms, Inc.
 - b. Model: Chase Park litter receptacle.
 - c. Style: Side Opening.
 - d. Color: As selected by Architect.
 - e. Mounting: Surface-mounted.
 - f. Lock: Keyed with 2 brass keys (coordinate keying with Owner).
 - g. Materials:
 - i. Base: Rotationally molded linear low-density polyethylene. Color is dark gray. Base is filled with concrete for stability.
 - ii. Sides & Door: Cast 319 Aluminum.
 - iii. Hinges: Two, stainless steel, connects sides and door.
 - iv. Latch: Stainless steel.
 - v. Lock Cam & Lock Plate: Stainless Steel.
 - vi. Lid: 0.100" thick, spun 1100-0 aluminum.
 - vii. Lid Bracket: 1" x 1" x ¼" aluminum angle.
 - viii. Liners: Black, formed polyethylene, 36 gallon capacity.
 - ix. Fasteners: Stainless Steel.

ATTACHMENTS:

1. Reference Drawing A102 – submitted by Bidder as part of Q&A.
2. Section 000100 – PROJECT MANUAL INDEX
3. Section 000115 – DRAWING INDEX
4. Section 011100 – SUMMARY OF WORK
5. Section 071300 – SHEET MEMBRANE WATERPROOFING
6. Drawing A101
7. Drawing A102
8. Drawing A202
9. Drawing A220
10. Drawing A230
11. Drawing A240
12. Drawing A250
13. Drawing A260
14. Drawing A300

15. Drawing A301
16. Drawing A302
17. Drawing A310
18. Drawing A320
19. Drawing A330
20. Drawing A340
21. Drawing A341
22. Drawing A350
23. Drawing A351
24. Drawing A352
25. Drawing A360
26. Drawing A370
27. Drawing A371
28. Drawing A372
29. Drawing A508.1
30. Drawing A510.1
31. Drawing A510.2
32. Drawing A512.1
33. Drawing A513
34. Drawing P001
35. Drawing P101A
36. Drawing P101
37. Drawing P102
38. Drawing E002
39. Drawing E003
40. Drawing E201
41. Drawing E301

End



SECTION 000110
 PROJECT MANUAL INDEX

Introductory Pages

Section	000110	Project Manual Index
	000115	Drawing Index
	000125	Project Directory

Bidding Requirements, Contract Forms, and Conditions of the Contract

Section	001000	Bidding Documents
	001000.1	Advertisement for Bids (Legal Notice)
	001000.2	Instructions to Bidders – AIA A701
	001000.3	Additional Bid Conditions
	001000.4	Bid Form
	001000.5	Bid Guaranty and Contract Bond
	001000.6	Certificate of Compliance, Ohio Department of Insurance – Hamilton County
	001000.7	Non-Collusion Affidavit of Contractor
	001000.8	Bidder’s Certification Concerning Equal Employment Opportunity Requirements
	001000.9	Personal Property Tax Statement
	001000.10	Subcontractor and Material Supplier List
	001000.11	The Banks Project SBE Program Summary
	001000.12	Subcontractor Utilization Plan – (Form 2003)
	001000.13	Statement of Good Faith Efforts – (Form 2007)
	001000.14	Outreach/Good Faith Summary Sheet – (Form 2007-a)
	001000.15	Warranty Against an Unresolved Finding For Recovery
	001000.16	Homeland Security Declaration
	001000.17	Responsible Bidder Certification
	001000.18	Tax Statement Sheet
	001000.19	Not Used
	001000.20	Not Used
	001000.21	Certified Check Form
	001000.22	Registration Form
	001000.23	Prevailing Wages and Prevailing Wage Rate Tables (See Appendix A)
	003200	Geotechnical Data
	005000	Agreement Form
	006100	Contract Bond
	006150	Escrow Agreement
	007200	General Conditions
	007319	Health and Safety Requirements
	007319a	Safety, Health, and Environmental Requirements
	008100	Project Safety Program
	008260	Joint Policy for Small Business Enterprise, Economic Inclusion

	and Workforce Development
008270	Responsible Bidder Requirements
009000	Contract Forms

Division 01 - General Requirements

Section	011100	Summary of Work
	012100	Allowances
	012513	Product Substitution Procedures
	013100	Project Coordination
	013119	Project Meetings
	013216	Construction Progress Schedule
	013226	Construction Progress Reporting
	013300	Submittals
	013323	Shop Drawings, Product Data, and Samples
	013543	Environmental Procedures
	014000	Quality Requirements
	014216	Definitions, Standards, and Regulatory Requirements
	014516	Ground Penetration Requirements
	015000	Construction Facilities and Temporary Controls
	017329	Cutting and Patching
	017700	Closeout Procedures and Submittals

Technical Specifications:

Division 02 – Existing Conditions

Section	024100	Demolition
---------	--------	------------

Division 03 – Concrete

Section	030100	Concrete Repair
	033000	Cast-in-Place Concrete

Division 04 – Masonry

Section	042000	Unit Masonry
	044213	Dimensional Stone Cladding
	044302	Solid Granite

Division 05 – Metals

Section	055000	Metal Fabrications
	057000	Ornamental Metals

Division 07 – Thermal and Moisture Protection

Section	071300	Sheet Membrane Waterproofing
	071400	Fluid Applied Waterproofing
	079200	Sealants

Division 08 – Openings

Section	081100	Steel Doors and Frames
	087100	Door Hardware

Division 09 – Finishes

Section 099100 Painting

Division 10 – Specialties

Section 104400 Fire Protection Specialties

Division 21 – Fire Suppression

Section 210501 Basic Fire Suppression Requirements
 210502 Agreement and Waiver for Use of Electronic Files
 210502A Electronic Files - Heapy Release Form to Contractors
 210504 Basic Fire Suppression Materials and Methods
 210505 Firestopping
 210507 Piping Materials and Methods for Fire Suppression
 210517 Expansion Loops for Fire Suppression Systems
 210519 Gauges for Fire Suppression Piping
 210529 Hangers and Supports for Fire Suppression Piping
 210533 Heat Tracing for Fire Suppression Piping
 210553 Identification of Fire Suppression Piping & Equipment

 211312 Fire Suppression Piping
 211313 Fire Suppression Sprinkler & Standpipe System

Division 22 – Plumbing

Section 220501 Basic Plumbing Requirements
 220502 Agreement and Waiver for Use of Electronic Files
 220502A Electronic Files - Heapy Release Form to Contractors
 220504 Basic Plumbing Materials and Methods
 220505 Firestopping
 220507 Piping Materials and Methods
 220517 Expansion Loops for Plumbing Systems
 220523 General Duty Valves for Plumbing Piping
 220529 Hangers and Supports for Plumbing Piping
 220553 Identification of Plumbing Piping

 221116 Interior Domestic Water Piping
 221119 Interior Domestic Water Piping Specialties

 221316 Interior Drainage and Vent Systems
 221319 Drainage Systems Specialties

Division 23 – HVAC

Section 230501 Basic HVAC Requirements
 230502 Agreement and Waiver for Use of Electronic Files
 230502A Electronic Files - Heapy Release Form to Contractors
 230504 Basic HVAC Materials and Methods
 230505 Firestopping
 230553 Identification of HVAC Piping & Equipment

 230923 Direct Digital Control System for HVAC
 230925 Instrumentation & Control Devices for HVAC

230947 Control Power & Wiring for HVAC

Division 26 – Electrical

Section	260501	Basic Electrical Requirements
	260502	Agreement and Waiver for Use of Electronic Files
	260502A	Electronic Files – Heapy Release Form to Contractors
	260504	Basic Electrical Materials and Methods
	260505	Firestopping
	260519	Low-Voltage Electrical Power Conductors - Copper
	260526	Grounding and Bonding for Electrical Systems
	260533	Raceways and Boxes for Electrical Systems
	260553	Identification for Electrical Systems
	260565	Specific Wiring Applications
	260923	Lighting Control Devices
	262213	Distribution Transformers
	262416	Panelboards
	262716	Electrical Cabinets and Enclosures
	262726	Wiring Devices and Coverplates
	262813	Fuses
	262816	Disconnect Switches
	262913	Motor Controllers
	265113	Interior Luminaires, Lamps and Ballasts
	265114	Lighting Control Panels
	265115	Lighting Control System
	265200	Exit and Emergency Lighting
	265600	Exterior Lighting

Division 28 – Electronic Safety and Security

Section	283100	Fire Detection and Alarm (Addressable)
---------	--------	--

Division 31 – Earthwork

Section	310000	Earthwork
	312000	Earth Moving

Division 32 – Exterior Improvements

Section	321440	Granite Unit Paving
	328400	Underground Irrigation System
	329113	Planting Soils
	329113.23	Structural Soil
	329300	Plants

Division 33 – Site Utilities

Section	334100	Storm Drainage
	334600	Subdrainage

Appendix A – Prevailing Wage Rates

END OF SECTION

SECTION 000115

DRAWING INDEX

DRAWING TITLE

TITLE SHEET

SURVEY: (MSP)
TOPOGRAPHIC SURVEY

GENERAL: (THP)
G001 BUILDING CODE NOTES

CIVIL: (THP)
C101 SITE PLAN

CIVIL: (KLEINGERS)
C102 UTILITY PLAN
C102.1 STORM PROFILES
C102.2 STORM DETAILS

C103 GRADING PLAN

EROSION CONTROL: (KLEINGERS)
C104 EROSION CONTROL NOTES AND DETAILS
C104.1 EROSION CONTROL NOTES AND DETAILS

ARCHITECTURAL: (THP/MMA)
A001 GEOMETRIC LAYOUT

A100 SITE PLAN
A101 LOWER LEVEL FLOOR PLAN
A102-S SUBSTRUCTURE LEVEL PLAN
A102 PARK LEVEL FLOOR PLAN, LAYOUT, GRADING, AND COMPONENTS

A200 OVERALL ELEVATIONS
A201 LOT 27 ELEVATIONS AND SECTIONS
A202 ELM ST. STAIR ELEVATIONS AND SECTIONS
A203 ELM ST. ELEVATIONS
A204 ELM ST. WALL SECTIONS
A205 MEHRING WAY ELEVATIONS
A206 MEHRING WAY WALL SECTIONS

A210 BUILDING SECTIONS
A211 BUILDING SECTIONS
A212 BUILDING SECTIONS
A213 BUILDING SECTIONS

A220 ARCHITECTURAL DETAILS

A230 PARK DETAILS

A240	RAILING DETAILS
A250	ELM STREET STAIR DETAILS
A260	CMU ELEVATIONS AND DETAILS
A300	LOT 27/28 PLANTER PLAN & SECTIONS
A301	LOT 27/28 PLANTER DETAILS
A302	LOT 27/28 PLANTER DETAILS
A310	RACE STREET ENTRY MARKER
A320	ELM STREET STAIR ENTRY MARKER
A330	LOT 27 PLANTER PLAN & SECTIONS
A340	UPPER LANDING DISPLAY
A341	UPPER LANDING DISPLAY SECTIONS
A350	FOUNTAIN AND LOWER LANDING DISPLAY
A351	LOWER LANDING DISPLAY SECTIONS AND DETAILS
A352	FOUNTAIN SECTIONS
A360	MEHRING WAY NORTH ENTRY MARKER
A361	MEHRING WAY NORTH ENTRY MARKER DETAILS
A370	MEHRING WAY SOUTH ENTRY MARKER
A371	MEHRING WAY SOUTH ENTRY MARKER E-W SECTION
A372	MEHRING WAY SOUTH ENTRY MARKER N-S SECTION
A508.1	UPPER LANDING DISPLAY & SEATING
A510.1	LOWER LANDING BLEACHER SEATING
A510.2	LOWER LANDING BLEACHER SEATING
A512.1	STEPPED BENCH & PLANTER @ MIDDLE WALK
A513	STEPPED BENCH @ LOWER WALK
A801	GUARDRAIL DETAILS

LANDSCAPE: (TKG)

L100	HARDSCAPE PLAN
L200	LANDSCAPE SOILS PLAN
L300	OVERALL LANDSCAPE PLAN
L301	LANDSCAPE ENLARGEMENT PLAN
L302	LANDSCAPE ENLARGEMENT PLAN
L303	PLANTING DETAILS
L400	DETAILS

IRRIGATION: (TKG)

L500 IRRIGATION PLAN
L501 IRRIGATION DETAILS

STRUCTURAL: (THP)

S001 GENERAL NOTES AND TYPICAL DETAILS
S002 TYPICAL DETAILS
S101 FOUNDATION PLAN
S102 UPPER LEVEL (503) FRAMING PLAN

S201 FOUNDATION DETAILS

S301 PILE CAP AND COLUMN DETAILS

S401 FRAMING DETAILS
S402 FRAMING DETAILS

S501 TYPICAL BEAM DETAILS AND BEAM DIAGRAMS
S502 BEAM DIAGRAMS
S503 BEAM DIAGRAMS

FIRE PROTECTION: (HEAPY)

F101 LOWER LEVEL FS PLAN

PLUMBING: (HEAPY)

P001 LEGEND SCHEDULES & NOTES

P101 LOWER LEVEL PLUMBING PLAN
P101A LOWER LEVEL PLUMBING PLAN (LOT 27)

P102 UPPER TERRACE LEVEL PLUMBING PLAN

HVAC: (HEAPY)

H001 HVAC SYMBOLS, NOTES, LEGENDS

H101 LOWER LEVEL HVAC PLAN (LOT 28)

H301 CONTROL SCHEMATIC
H302 CONTROL SCHEMATIC

ELECTRICAL: (HEAPY)

E001 LEGEND AND INDEX
E002 SCHEDULES
E003 PANELBOARDS
E004 SINGLE-LINE
E005 DETAILS

E201 LIGHTING PLANS LOT 28

The Banks – Lot 28
BP #2 – Park & Garage – Addendum #2 (1/13/22)
December 17, 2021
THP No. 98090.40

E301 POWER PLANS LOT 28

WATERPROOFING: (THP)

SW101 PARK LEVEL SUBSURFACE WATERPROOFING PLAN
SW201 WATERPROOFING SECTIONS
SW301 WATERPROOFING DETAILS
SW302 WATERPROOFING DETAILS

END OF SECTION

SECTION 011100
SUMMARY OF WORK

PART 1 GENERAL

1.01 GENERAL PROVISIONS OF BID PACKAGE #2 TRADE CONTRACTS

- A.** The following summary is a description of work for all Contract Descriptions for THE BANKS – PHASE 3C. Work related to the Project is as indicated on the Drawings and Specifications as prepared by THP Limited, Inc. This section describes and assigns work to each Contract as designated by the Construction Manager. Each Contractor shall cooperate and coordinate with all other Contractors for proper and expedient completion of the work in this Project. Each Contract Description identifies the major portions of Scope of Work to be performed by the Bidder in specific Contract Descriptions. This summary should in no way be construed as being all-inclusive. It is issued as a guide to aid in the assignment of work. Refer to the Drawings and Specifications for a detailed accounting of any work not explicitly specified or noted. Each Trade Contract Description lists specification sections included, in whole or in part, in that Contract Description. All work activities not explicitly specified or noted, but required to complete the work included in a Contract Description are a part of the work scope.

PART 2 TRADE CONTRACT DESCRIPTIONS

2.1 SECTION INCLUDES:

1. List of Trade Contracts
2. General Provisions of Bid Package #2 Trade Contracts
3. Contract Descriptions

2.2 LIST OF TRADE CONTRACTS

1. List of Bid Package #2 Trade Contracts:

TC-03	Concrete Structure and Site Concrete
TC-04	Park Finishes

2. General Provisions of Bid Package #2 Trade Contracts

- A. Each Contractor shall be responsible for the proper protection of adjacent structures and public rights of way.
- B. Prospective bidders are reminded that all of the contracts described herein contain specific Joint Policy for Small Business Enterprise, Economic Inclusion and Workforce Development for the Banks Project requirements.
- C. Each Trade Contractor shall comply with the Responsible Bidder Requirements specified in section 001000 and herein.
- D. All work is to comply with the rules and regulations of governing authorities having jurisdiction. Work shall be performed by skilled tradesmen having experience in performing the work.
- E. Storage of all materials is limited and must be approved by the Construction Manager. Offsite storage of material may be required. All costs associated with material delivery in small quantities, relocation of materials that impede work progress, and off site material storage must be included in the bid.
- F. A 48-HOUR NOTICE MUST BE GIVEN FOR DELIVERIES. IF NOTICE WAS NOT GIVEN DELIVERIES MAY BE TURNED AWAY. ALL COST ASSOCIATED WITH THIS ACTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DELIVERIES MUST BE COORDINATED & APPROVED BY THE CONSTRUCTION MANAGER. NO PARKING BY EMPLOYEES OR DELIVERY VEHICLES IS PERMITTED ON SITE. STORAGE, TOOL OR OFFICE TRAILERS WILL NOT BE PERMITTED ON SITE WITHOUT THE PRIOR APPROVAL OF, AND IN COORDINATION WITH, THE CONSTRUCTION MANAGER.
- G. Each Contractor is responsible to review the site and be familiar with all existing conditions within and around the building including local conditions and requirements. The impact of the site conditions on the cost of performing the work shall be included in the bid. Contractors shall notify the Construction Manager in writing of any discrepancies or conditions detrimental to proper performance of the Work.
- I. Each Contractor to provide to all other trades information and materials, shop drawings, diagrams, templates, and embedments necessary for the coordination of the Work. It is each Contractor's responsibility to field verify and coordinate all interface with other trades.

- J. Where new work connects with existing, do all necessary cutting and patching required to make a satisfactory connection with the work to be performed under the Contract Documents so as to leave the entire work in a finished and workmanlike condition. This requirement shall include all required work where new items connect, fit, or otherwise interface with existing surfaces. Provide all labor and materials to this end, whether or not shown or specified. Verify and match existing conditions. This shall include full block replacement to nearest construction expansion joint of any concrete pavement removed or damaged.
- K. Each Contractor shall at all times maintain a clean and safe passage to all areas of the site, and for the public around the site.
- L. Each Contractor shall field verify all dimensions, materials and conditions of the existing site.
- M. Initial benchmarks and control lines will be provided by the Construction Manager. Each Contractor is responsible for all detailed layout and grade from the indicated benchmark and control points.
- N. Each Contractor is to coordinate all work with the work of other trades for proper function and sequence to avoid construction delays or additional cost.
- O. Each Contractor is responsible for daily cleanup and disposal of all debris associated with its work activities. This shall include removal of debris from public property and/or roadways caused by work on site or carried outside of the site by vehicles employed by the Contractor. Street cleaning of this debris is expected by each Contractor, as necessary. Debris not removed by the Contractors will be discarded at the delinquent Contractor's expense. All areas of work are to be broom cleaned at the end of each work day. In addition to daily cleanup each Trade Contractor to provide 1 person for every 4 Trade Contractor employee and their subs to a once a week jobsite general cleanup activity. Each Trade Contractor to provide its worker with all the necessary tools and equipment to do cleanup. There will be no tools or equipment provided by the Construction Management organization. Coordination of the weekly cleanup will be the responsibility of the General Trades Contractor. Designated eating areas will be identified by the Construction Manager. These areas will be the only place for workers to eat and drink. Workers found violating this policy maybe directed to leave the jobsite.
- P. Each Contractor shall be restricted to working hours of 7:00am to 4:00pm unless alternate arrangements are approved by the Construction Manager. This does not alleviate the Trade Contractor's responsibility to work overtime as required to maintain the schedule.

- Q. Signs of any type are prohibited, except as specifically assigned by the Contract Documents.
- R. Each Contractor shall be responsible for the protection of its own materials, tools, equipment, and finish work until substantial completion is granted. Damage to or theft of any materials, tools or equipment prior to substantial completion will be repaired or replaced at the Contractor's expense.
- S. Each Contractor shall provide all temporary heat, utilities and protection required for the completion of all work as scheduled, except where specifically provided by others in the Contract Documents.
- T. Each Contractor shall have their superintendent attend all weekly Trade Contractor Meetings (time & location to be scheduled by Construction Manager).
- U. Each Contractor shall secure all permits required by governing authorities for the completion of its own work scope. This includes all Plumbing, HVAC, Traffic or permit that are issued by the City's Department of Transportation and Engineering, street barricade and other special permits. No Permits will be secured by the Construction Manager.
- V. Each Contractor shall submit daily reports and the weekly work plan twenty-four (24) hours before the weekly Trade Contractor meetings. Failure to submit these items each week for the prior week's work will result in rejection of this Contractor's pay request.
- W. Testing shall be performed in accordance with the Contract Documents. Where Owner and Contractor testing are specified, the Contractor shall provide complete testing. The Owner may provide additional testing at its discretion.
- X. Each Contractor is responsible for the complete review of, and coordination with, the Trade Contract Descriptions for other Contractors. Where overlap occurs, include the cost of such work in your bid, and the Construction Manager will decide which Contractor will perform this work. Appropriate credit will be deducted from the other Contractor's Contract.
- Y. Each Contractor must provide a full-time superintendent on site throughout the duration of their work on site. This superintendent shall be authorized to make all decisions relative to the work on site, and shall be the primary contact for all correspondence. Part time or token representatives who are not so authorized will not be permitted. Failure to comply with this requirement will result in rejection of this Contractor's pay request. Any change of superintendent shall be pre-approved by the Construction Manager.

- Z. Time is of essence on this project. Each Trade Contractor shall phase, construct and complete their work within the requirements included in Specification Section 013216 and the subsequent development of and updating of the Banks Phase 3C – Bid Package 2 Schedule by the Construction Manager.
- AA. Each Contractor shall complete the Resource Utilization and Inclusion Tracking Forms that are included in the Specifications. The forms shall be completed on a monthly basis and submitted with the monthly pay request. Completed resource utilization forms must be submitted with the pay request in order for the pay request to be processed.
- AB. Each Contractor will be required to attend several phasing meetings pertaining to Lean Construction. Contractor shall have the appropriate personnel (more than one) attend the reverse phase scheduling meeting. Each Trade Contractor shall participate in the implementation of the Lean Construction process throughout the duration of the Project.
- AC. Safety hard hats, safety eye protection, High Vis, and Gloves shall be worn by all employees on this job site. This includes all of this Contractor's Subcontractors and Suppliers.
- AD. This Contractor shall comply with all requirements of the Williams-Stiger Occupational Safety and Health Act of 1970 and subsequent amendments thereto. This Contractor shall furnish to the Construction Manager a copy of its Safety Program, including a copy of its Hazardous Material Program, prior to the commencement of work on site. No payment will be made until these documents are received.
- AE. Any barricade or safety device removed by this Contractor's employees shall be immediately re-erected by Contractor. Upon failure to do so, the Construction Manager may direct the re-erection of it and the cost will be paid by the Contractor.
- AF. All shop drawings and submittals must be submitted within one week from Notice to proceed, unless otherwise specified. No pay request will be processed until all required submittals have been received.
- AG. Each Contractor shall provide personnel for traffic control and traffic coordination during all deliveries of material and equipment required in their scope of work. The Contractor shall coordinate all such activities with the Construction Manager and the City of Cincinnati, Department of Transportation and Engineering.
- AH. All portions of existing site and all utilities not part of the Work which are damaged, moved or altered in any way during construction shall be replaced or repaired to the County's satisfaction at the Contractors expense.

- AI. Each Trade Contractor shall include in their Schedule of Values (G702) a line item for their Small Business Enterprise spending. Each SBE should be shown separately.
- AJ. Each Contractor shall attend the pre-award conference. This conference will be scheduled by the Construction Manager. All trade contractors shall be notified in writing of the date the conference will be held.
- AK. Each Contractor shall update their record / as-built drawings on a monthly basis, the updated as-built shall be submitted to the Construction Manager by the 20th of the month. If the Contractors as-builts are not updated and submitted, the Contractors pay request for that month will not be processed.
- AL. Each Trade Contractor shall make good faith efforts to meet and/or exceed the project workforce participation goals as outlined in Section 008260 page 15.
- AN. To facilitate the punch list process, each Trade Contractor must complete its punch list items within 3 business days (excluding weekends) of receipt (via fax, email, or distribution to the site leader) of each punch list item. Failure to complete the punch list will result in a back charge for the total cost, to have others complete the work as designated by the Construction Manager.
- AO. Trade Contractor to identify recycle and waste management opportunities when assessing their scope of work. These items will be reviewed at the pre-award meeting.
- AP. The flow of traffic on City streets and public walkways must be maintained at all times. It shall be this Trade Contractor's responsibility to obtain all permits and provide all labor and material that are necessary for street and sidewalk lane closures. All work involved that impacts existing streets and/or sidewalks or impedes public access in any way shall be coordinated through the Construction Manager **prior to the date of the work.**

AQ. The Construction Manager will be utilizing a web-based information management system to facilitate communications among project partners including but not limited to Owners, Architects, Engineers, Construction Manager, and Trade Contractors. The system being utilized is Autodesk document management software. All trade contractors must have an e-mail address and access to the internet. Autodesk will be utilized for the following functions:

- Project Contact Directory- this will be maintained by the Construction Manager
- Requests for Information Management
- Meeting Minutes Distribution
- Posting of Official Notices and/or Communications
- Submittal Management
- Contract Document Management
 - Contract Drawings in PDF
 - Site Photographs
- Punchlist Management
- Field Work Order Management

The Construction Manager will issue user names and passwords to each Trade Contractor and will provide training and technical assistants to the user groups. Use of this system is mandatory. There will be no costs passed on to the users for access to the system or license fees. Users will be responsible for the costs associated with access to the internet.

AR. All Contractors shall use platform type ladders where ladders are necessary on this project. Other ladder types will not be allowed on site.

3. **A. CONTRACT DESCRIPTION TC-03: Concrete Garage Structure**
4.

The Scope of Work in this Contract TC-03 includes all labor, material, tools, equipment, services, and supervision necessary to complete all work specified herein, in accordance with the Contract Documents, as described below to a complete functional safe and operating state.

Included is the Work as indicated in this Contract Description TC-03 the Drawings, the General Conditions and Division 1 of the General Requirements. This scope of work includes, but is not necessarily limited to, the following Specification Sections:

Bidding Requirements, Contract Forms and Conditions of the Contract

The following items represent specific inclusions in this Contract TC-03: Concrete Garage Structure. They are provided as a guide to aid in the assignment of work and in no way should be construed as being all-inclusive.

This Contract shall include:

1. All work in this trade category is to be performed in accordance with the Specifications and with the recommendations of the Geotechnical Exploration report included in the documents as appendix B.
2. General Building Permit is provided by the Construction Manager. Any other required permits or licenses are the responsibility of this Trade Contractor for this work scope.
3. Contractor performing work must have all licenses and certifications as required by the specifications and/or authorities having jurisdiction.
4. Geotechnical monitoring and testing services are provided by others. This Trade Contractor shall coordinate and assist in the inspection and testing of all work on a daily basis.
5. Prior TC-01 Contractor Provided removal of the existing asphalt parking surface and gravel, Existing surface to be removed as work progresses to maintain a solid working surface. Review existing site condition prior to bid date.
6. Provide Mass Fill of structural fill per the documents. Fill material to be reviewed and approved by third party testing agency. Borrow site to be pre-approved.
7. Provide final grading of structural fill.
8. Protection of erosion during structural fill to be included to prevent soils from leaving site.
9. Street, sidewalk, and podium cleaning to be included for mud, debris, etc leaving the site caused by this contractor.

10. Provide locations for settling plates. Settling plates to be monitored as required by Third party testing agency. Settling to occur prior to site concrete work.
11. This Contractor shall include all excavation and backfill as needed for foundations (including grade beams) from the existing conditions. All borrow material or engineered fill shall meet the requirements of the specifications.
12. Demo of Sidewalks, curb cut, and other concrete located in the Right of Way to be by prior TC-02. Put back to be by TC-02 in Right Of Way. Demo of Concrete not in the ROW is by TC-01.
13. This contractor is responsible for the Concrete structure complete including Podium, grade beams located outside of the SOG footprint, battered walls, park site walls and granite back up walls, and other foundations within the park shall be included as part of this trade contract. Reinforcing steel shall be provided as part of this work scope. Pile Caps, Grade beams under the SOG, Columns, Basement Wall, and SOG were included in TC-01 Scope of Work.
14. Include sub surface concrete walk ways located under the granite pavers.
15. All concrete to receive waterproofing to include rubbing out and patching of pin holes, voids, etc as per waterproofing manufacturer requirements.
16. This contractor is responsible for providing all sealants, sealers and admixtures as required.
17. Cold Weather conditions to be accounted for as required.
18. Coordination with miscellaneous metals contractor shall be included for anchor bolts, embedded plates and other items imbedded in the concrete work. This contractor shall receive, inventory and install miscellaneous metal anchors, plates and sleeves as required for a complete, correct installation. Material shall be furnished and delivered by others. This contractor shall receive and set in place items which are to be cast into concrete structure. Layout shall be coordinated with the future miscellaneous metals contractor. This contractor shall be responsible for remedial work required if the anchors or plates are moved during concrete placement.
19. Provide and maintain temporary protection and plates to maintain safe access across site related to this work. All holes, trenches, etc are to be protected. A ramp (Earthen or built) is to be provided for access into all excavations
20. This contractor shall provide temporary safety railing around protective floor cover over openings in the concrete slabs as required to meet OSHA standards. This includes covers over the sleeve openings. Temporary Podium Slab edges railing to be included.

21. Slab tolerance shall be monitored by this contractor during and after each concrete placement. As-built information for each horizontal slab placement shall be provided the day after placement.
22. Spoil removal for this work scope is the responsibility of this Trade Contractor. All materials are to be removed from site and legally disposed as required for this scope of work.
23. Temporary water and temporary power required for this work scope shall be the responsibility of this Trade Contractor. Temporary power stations to be installed by TC-04.
24. Dewatering and/or mucking as required to complete this work scope shall be the responsibility of this Trade Contractor. All open holes/excavations shall be kept clean and free from water as required by the contract documents. This Trade Contractor shall provide barricades or other measures to protect the public and other workers on site from a fall hazard into excavations/holes.
25. This Trade Contractor shall include all reinforcing steel as required for a complete, correct installation. All deliveries, hoisting and rigging into place are to be provided by this Trade Contractor as required.
26. This Trade Contractor shall be responsible for dust control as required for this work scope.
27. Traffic control for this work scope is the responsibility of this Trade Contractor.
28. Only the washing of the chute will be permitted on site. Wash out of the concrete truck to be done at the batch plant. This contractor is responsible for clean-up of all dunnage from deliveries and hauling off-site within a timely manner.
29. Provide all layout and engineering from control points and benchmarks provided on survey drawings.
30. Coordination between TC-03 and TC-04 to be included. Granite shops are in progress and the structure will need to align with the Granite Shops. Asbuilts to be provided for Granite installers including slab edges, walls, etc to assure proper granite fitment.
31. This Trade Contractor shall employ a utilities location service to locate all utilities for location and elevation prior to commencement of any work on Site. Underground utilities that are to remain shall be permanently located, maintained and protected with signage and barricades until completion of Contract Time.
32. This Trade Contractor shall include any necessary permits required for temporary road shutdowns if required to perform this work scope.
33. All hoisting associated with this Trade Contract is to be included in this work scope.
34. Reference Section 017419 for removal of all debris.
35. The temporary plywood protection shown at the existing garage will be provided and maintained by others.
36. This contractor to include demo of the existing railings. This includes

- the concrete curb located on the existing stairs at the 515 level. Railings to be turned over to the Construction Manager in a protected manner. Railings are to be maintained until a safe condition is met.
37. This Contractor shall account for the potential of Class C soils when performing this scope of work. This shall include the forming of pile caps as required. OSHA/Messer safety standards shall be maintained when constructing gradebeams in regards to the sloping of excavations and employee entry.
38. Include allowance of 2,000lbs of rebar including labor to be installed at the CM direction.
39. This Trade Contractor shall include a \$ 50,000 allowance to account for potential design changes initiated by the Owner.

B. CONTRACT DESCRIPTION TC-04: Park Finishes

The Scope of Work in this Contract TC-04 includes all labor, material, tools, equipment, services, and supervision necessary to complete all work specified herein, in accordance with the Contract Documents, as described below to a complete functional safe and operating state.

Included is the Work as indicated in this Contract Description TC-04 the Drawings, the General Conditions and Division 1 of the General Requirements. This scope of work includes, but is not necessarily limited to, the following Specification Sections:

Bidding Requirements, Contract Forms and Conditions of the Contract	
General Requirements	
Section 024100	Demolition
Section 321216	Asphalt Paving
Section 321723	Pavement Markings

The following items represent specific inclusions in this Contract TC-04: Park Finishes. They are provided as a guide to aid in the assignment of work and in no way should be construed as being all-inclusive.

This Contract shall include:

1. All work associated with Lot 28 parks scope. Park scope is typically defined as any work above structural concrete deck
2. General Building Permit is provided by the Construction Manager. Any other required permits or licenses are the responsibility of this Trade Contractor for this work scope.
3. Geotechnical monitoring and testing services are provided by others. This Trade Contractor shall coordinate and assist in the inspection and testing of all work on a daily basis.

4. Temporary Toilets, dumpsters, and site fencing to be by TC-02. Temporary fall fencing, plates, covers, etc to be included as required for this scope of work.
5. Concrete Topping slabs and sub structure concrete to be by TC-03
6. The Concrete structural podium and site concrete by TC-03.
7. Waterproofing and expansion joints to be included. Subsurface and surface expansion materials to be included.
8. Contractor to furnish and install a complete waterproofing system per the documents. Waterproofing to be installed as structural decks are completed. Coordination with TC-03 scope to be included. Drainage board and root barrier to be installed with any means required to prevent movement until soils, gravel, topping slabs, granite, etc are placed on top.
9. Waterproofing to be inspected by a third party provided by the owner.
10. Waterproofing penetrations to be included. Additional detailing as required for railings, bollards, structures, etc.
11. Repair of existing waterproofing to be included as required per the documents.
12. Site signage to be included.
13. This Contractor shall include all excavation and backfill as needed. All borrow material or engineered fill shall meet the requirements of the specifications.
14. This contractor is responsible for providing all sealants, sealers and admixtures as required for the Parks scope of work.
15. Provide all preparation, priming and painting on ceilings, metals, doors/frames, conduits and masonry as shown in the plans. Include any Masonry water repellent.
16. Protect all surfaces not to be painted - remove over-spray from these items as required.
17. Provide a second trip to each area to touch-up and paint MEP items not previously installed. Include homerun conduits to be installed within existing garages.
18. Furnish and install all permanent fire extinguishers and cabinets.
19. A thorough cleaning with the use of a fire hose having the necessary pressure is to be provided for as a form of final cleaning and acceptance, also required prior to striping.
20. Provide all parking stall, striping, blocks including directional arrows and HC markings as shown on the plans.
21. Stripe garage per plans.
22. Include all required bollards including stainless steel. Removal of existing by TC-02. Reinstallation to be included by TC-04.
23. Provide and install all required sleeves for scope of work associated with this Trade Contract.
24. This contractor is to include coordination with all trades for sleeves. This contract to include installation of all sleeves required for TC-04. Include coring for all locations missed. This contractor to be responsible for reinforcing details located at sleeved opening per

- the documents. Each Trade Contract is to be responsible for their own sleeve installation. This contractor is responsible for maintaining sleeve locations and orientation before and during concrete pours, granite installation, etc.
25. This Contractor shall provide a complete electrical scope as shown within the documents for all park level and garage level including but not limited to conduit, wire, light fixtures, light poles, lighting controls, panels, and all associated shut downs.
 26. This Contractor shall furnish and install power to all equipment/fixtures. Hook up all equipment/fixtures at the machine and/or disconnect panel is to be provided for. Provide all fuses and disconnects required – per code to make equipment operational.
 27. Furnish and install all conduit and wiring for lighting
 28. Furnish and install concrete curbs and pads for equipment as needed and/or as required by code.
 29. This Trade Contractor shall include all off hours work required for the specific tie-ins and or shutdowns for this Bid Package.
 30. This Trade Contractor will be responsible for fire stopping and sealing of penetrations through fire rated and non-rated construction. This Trade Contractor to submit UL drawings on how they plan to handle each different type of penetration through rated partitions. These details are to be strictly adhered to in the field and each penetration is to be labeled with the UL number.
 31. Trade Contractors responsibility to coordinate all work and provide all conduit, anchor bolts etc. as required for light pole to function as designed. Pole bases to be by TC-04.
 32. City Light Pole Rework as shown on L100 to be included. Demo, rework, pull boxes, conduit, wiring, etc to be included per DOTE requirements. Poles to be removed and safely stored during construction. Storage to be located in Lot B gravel area.
 33. Contractor to provide and install light poles located in Lot 28.
 34. Provide CO Monitoring system extension per the drawings.
 35. Provide a pull string for all empty conduits that are to be installed.
 36. Contractor to provide lighting submittals, schedule, and delivery dates within 2 week of contract.
 37. This contractor shall provide a complete plumbing scope installation. To include but not limited to domestic/irrigation water line from Lot 27, booster pumps, back flows, irrigation connection, risers, under drains, slot drains etc. Drain bodies shown cast into structural podium/tree pits to be included. Coordination and installation with TC-03 to be included. TC-01 will provide the underground scope of work with a stub up for connection. Final connection or adjustment by TC-04.
 38. Include complete Fire suppression extension from Lot 27 dry system.
 39. Provide and maintain temporary protection and plates to maintain safe access across site. Protection of work as required to assure quality.

40. Spoil/trash removal for this work scope is the responsibility of this Trade Contractor. All materials are to be removed from site and legally disposed. Dumpsters provided by TC-02.
41. Temporary power shall be the responsibility of this Trade Contractor. Provide temporary power stations at ground and park level. Include two power post containing 8 receptacles with enough power to adequately supply them.
42. Railing scope to be by others. Include coordination between waterproofing, granite contractor and railing installation.
43. **Provide Stone scope of work minus horizontal unit pavers.** Horizontal unit pavers to be provided by and installed by others. Pavers and **all Stone Shop drawings** to be completed by previously TC-10 contractor. This Contractor to include coordination with the unit paving contractor.
44. Furnish and install complete granite/Stone scope per the construction documents. To include but not limited to: granite coping, stair treads, seat walls, cladding, decorative features, etc.
45. Granite/Stone to match existing Smale Park standard color, texture, and quarry. Samples to be provided and approved prior to material release.
46. Granite installation to be sequenced with waterproofing and railing installation..
47. Granite pavers thickness as shown on the drawings.
48. Mortar, setting beds, polymeric sand, and other installation materials to be included.
49. Material and installation to be delivered and installed in phases/sequences as the project progresses.
50. On site storage is limited. Limited lay down areas for granite to be provided within Lot E fenced area. Additional areas maybe available but are not guaranteed.
51. Remove existing granite per the construction documents, store, clean, and reinstall as shown.
52. Include stone cladding at perimeter walls.
53. Include all engineering for granite installation. **Shop drawings by others.** This includes clips, fasteners, methods, etc.
54. Provide all required mounting hardware, angles, ledges, etc.
55. Include all metal frames, misc metals, framing, CMU etc as required to install the granite/stone. This is to include the frame and associated installation work located along Elm St. Concrete back up by TC-03.
56. Include all CMU walls and back up including dowels, grouting, head joints, grouting, head angles, caulk joints, etc. Water Repellant to be included on CMU exposed to view.
57. Furnish and install complete landscaping and irrigation system.
58. Provide complete irrigation system including integration with existing systems. Rework Zoning as required.
59. Include irrigation system at applicable tree pits and plantings.

60. Irrigation system including but not limited to controller, piping, valves, boxes, zoning, controller, wiring, conduit, sleeves, heads, sprayers, and hose down quick disconnects. Irrigation connection to be connected to existing system.
61. Soil, trees, plants, shrubs, etc to be included.
62. Tree Pit and planter Under drains, corner drains, aeration, etc to be included.
63. Tagging of species to be regionally source and approved with architect and owner present.
64. Planting materials to be transplanted in appropriate seasons to maintain proper warranties.
65. Mulch and sod to be included where applicable.
66. Include tie downs, restraints, edging, and other installation systems as noted on construction documents.
67. Dewatering as required to complete this work scope shall be the responsibility of this Trade Contractor. All open holes/excavations shall be kept clean and free from water as required by the contract documents. This Trade Contractor shall provide barricades or other measures to protect the public and other workers on site from a fall hazard into holes.
68. All deliveries, hoisting and rigging into place are to be provided by this Trade Contractor as required.
69. This Trade Contractor shall be responsible for dust control as required for this work scope.
70. Traffic control for this work scope is the responsibility of this Trade Contractor.
71. Provide all layout and engineering from control points and benchmarks provided on survey drawings.
72. This Trade Contractor shall include any necessary permits required for temporary road shutdowns if required to perform this work scope.
73. Reference Section 017419 for removal of all debris.
74. The temporary plywood protection shown at the existing garage will be provided and maintained by others.
75. This Contractor shall provide all hangers and inserts as required for a complete, correct installation.
76. Contractor to include Site furnishings relocation, new furnishings, and installation per manufacturer requirement/details.
77. A thorough cleaning having the necessary equipment and materials is to be provided for as a form of final cleaning and acceptance, as required prior to turn over including stone and stainless features.
78. This Trade Contractor shall include all off hours work required for the specific tie-ins
79. Provide all applicable warranties, maintenance, etc per the construction documents.
80. This Trade Contractor shall include a \$ 100,000 allowance to account for potential design changes initiated by the Owner.

The Banks – Lot 28
BP #2 – Park & Garage
December 17, 2021

End of Section

DIVISION 7 – THERMAL AND MOISTURE PRETECTION

SECTION 071300

SHEET MEMBRANE WATERPROOFING

PART 1 GENERAL

1.1 SUMMARY

A. Section Includes

1. All labor, material, equipment, special tools, and services required to install the sheet waterproofing system required for the project as indicated on the Drawings and in the Specifications, including but not limited to the following:
 - a. Preparation and cleaning of substrates.
 - b. Crack and other detailing work.
 - c. Waterproofing system including primer or liquid applied surface conditioner, sheet membrane waterproofing, and drainage mat.

B. Related Sections

1. Section 030100: Concrete Repairs.
2. Section 071400: Fluid Applied Waterproofing.

1.2 REFERENCES

A. American Society for Testing and Materials (ASTM):

1. ASTM D-4491: Standard Test Method for Water Permeability of Geotextiles by Permittivity.
2. ASTM D 4632: Standard Test Method for Grab Breaking Load and Elongation of Geotextiles.
3. ASTM D 4751: Standard Test Method for Determining Apparent Opening Size of a Geotextile.
4. ASTM D 4833: Standard Test Method for Index Puncture Resistance of Geotextiles, Geomembranes and Related Products.

1.3 DEFINITIONS

- A. The term "manufacturer's recommendations," or variations thereon shall mean "manufacturer's recommendations which are found in publications available to and commonly used by the general architectural and consulting professions.

1.4 SUBMITTALS

- A. Literature for manufactured products, including manufacturer's specifications, test data, installation instructions and applicator's manual.
- B. Letter of applicator approval from the manufacturer per Paragraph 1.5.B.

- C. Letters of experience per Paragraph 1.5.C.
- D. Letter from manufacturer stating their system as specified is suitable for use in this project per Paragraph 3.4.A.
- E. Material Safety Data Sheets on all materials.
- F. Upon completion of the work and before final payment provide fully executed warranties.

1.5 QUALITY ASSURANCE

- A. Applicable Codes:
 - 1. The Contractor shall comply with all Federal, State and Municipal laws, codes, ordinances and regulations applicable to the Work in this Contract and also with all requirements of the National Fire Protection Association, the National Electric Code, and the Occupational Safety and Health Administration (OSHA). If the above laws, codes or ordinances conflict with this Specification, then the laws, codes or ordinances shall govern, except in such cases where the Specification exceeds them in quality of materials or labor, then the Specifications shall be followed.
 - 2. If the above laws, codes or ordinances conflict with the Specification, then the laws, codes or ordinances shall govern, except in such cases where the Specification exceeds them in quality of materials or labor, then the Specifications shall be followed.
- B. The membrane system applicator shall be approved by the manufacturer prior to the start of work.
- C. Membrane applicator's lead personnel (field superintendent and foreman) in charge of the work shall each have the following experience:
 - 1. Three (3) verifiable years of experience supervising the application of the membrane system being provided on this project.
 - 2. Successfully installed three (3) membrane projects of similar size, type and using the same membrane system being provided on this project.
- D. Membrane applicator's lead personnel shall be present for all field operation pertaining to this waterproofing system installation.
- E. The Owner reserves the right to request different lead personnel if, in the Owner's opinion, those assigned to the project are not qualified by way of experience or ability to perform the Work. Comply with the Owner's request at no additional cost.
- F. Substrate Compatibility:
 - 1. The manufacturer and contractor shall:
 - d. Jointly review and inspect the substrate materials to which the new waterproofing membrane is intended to be applied.

- e. Perform tests as necessary to ensure compatibility and verify the absence of materials - visible and invisible - detrimental to the application or performance of the waterproofing membrane.
 - f. Review materials specified elsewhere in the Construction Documents to which the waterproofing membrane is intended to be applied.
 - g. The hot applied fluid applied membrane to be compatible with sheet membrane waterproofing. If different manufacturers are used, a letter from both manufacturers noting the products are compatible is required
2. If inspections, tests or review of materials and substrate reveal conflicts of compatibility with the intended waterproofing membrane provide written evidence of the compatibility conflict to the Owner prior to ordering of materials.
 3. By beginning the waterproofing system (including substrate preparation), the Contractor accepts the responsibility for ensuring the performance of the waterproofing system.
 4. If the Contractor fails to submit proof of incompatible materials, and if failure of the waterproofing system is a result of chemical or physical incompatibilities with existing or specified products or materials, the Contractor is responsible for all costs related to correcting the deficient work and for all direct and indirect costs to the Owner.

G. Testing:

1. The Owner may perform tests to ensure compliance with the Contract Documents and manufacturer's requirements.
2. If tests reveal noncompliance, correct deficiencies in a manner approved by the Owner and the manufacturer at no additional cost.
3. Except as otherwise specified, the Owner will pay the cost of the tests, including repair and patching of test areas.
4. Where tests reveal deficiencies in the membrane materials or installation, the costs of the tests, and repair and patching of the test areas shall be borne by the Contractor.

H. Air compressors shall be equipped with functional oil and water separators.

1.6 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Deliver materials to job site in sealed, undamaged containers. Identify each container with the material's name, lot number and date of manufacture.
- B. Store membrane materials in a place specifically assigned for that purpose and which is well ventilated, lighted and not subject to direct sunlight.
- C. Heat or cool the storage area to maintain temperatures within the range recommended by the membrane manufacturer.

- D. Keep membrane materials sealed in original containers when not in use.
- E. Keep storage area neat and clean.
- F. Do not overload or otherwise distress the structure.
- G. Handle membrane system materials in strict accordance with safety and weather limitations required by product literature or as modified by applicable rules and regulations of Local, State and Federal authorities having jurisdiction.
- H. When using toxic or flammable solvents, take necessary precautions as recommended by the manufacturer. The handling and use of toxic or flammable solvents, including adequate ventilation and personal protective equipment, shall conform to the requirements of the applicable safety regulatory agencies.

1.7 JOB CONDITIONS – WEIGHT RESTRICTIONS AND MOVEMENT

- A. The Contractor shall use equipment for membrane installation on structured concrete slab areas with the following weight restrictions:
 - 1. The maximum wheel load shall not exceed 2,000 lbs.
 - 2. The maximum distributed load shall not exceed 90 psf.
 - 3. Wheel base of loaded equipment shall not exceed 5 feet.
 - 4. Equipment positioning, movement and orientation is subject to Engineer and Owner review.

1.8 WARRANTY

- A. The completed installation shall be warranted by the manufacturer against defects of materials, and by the Contractor for defects in workmanship for a period of ten (10) years, beginning with the date of substantial completion for the Project.
- B. The warranties shall not require the signature of the Owner.

PART 2 PRODUCTS

2.1 MEMBRANE MATERIALS

- A. Sheet applied waterproofing membrane, approved manufacturers:
 - 1. Blueskin WP200 by Henry Company.
- B. Primer: As recommended and approved by the manufacturer.
 - 1. Aquatac Primer.
- C. Surface Treatment: As recommended and approved by the manufacturer.
- D. Drainage Sheet/Protection Layer: As recommended and approved by the manufacturers.
 - 1. Henry DB 520.

- E. Filter Fabric, approved manufacturers:
 - 1. Mirafi 180N by TenCate Geosynthetics Americas.
 - 2. Alternative Woven drainage fabric with the following characteristics:
 - h. Grab Strength per ASTM D4632: 205 lbs.
 - i. CBR Puncture Strength per ASTM D6241: 500 lbs.
 - j. Equivalent Opening Size per ASTM D4751: 80 U.S. Sieve.
 - k. Water Flow Rate per ASTM D4491: 95 gal/min/SF.
- F. Adhesives and Sealants:
 - 1. Henry 925 BES Sealant.
 - 2. Polybitume 570-05 Sealant Compound.
- G. Termination Bar: One inch wide by one-eighth inch thick stainless steel bar, pre-drilled at six inches on center to receive fasteners.
- H. Anchors: ¼" diameter stainless steel Metal Hit Anchor by Hilti Corp.
- I. Sheet Metal Flashing:
 - 1. 26 ga. stainless steel.
 - 2. Size as indicated on Drawings.

PART 3 EXECUTION

3.1 PREPARATION

- A. Surface Preparation:
 - 1. Perform final surface preparation and cleaning procedures in accordance with this Section unless the waterproofing system manufacturer has more stringent requirements. Apply membrane only to clean, dry prepared surfaces.
 - 2. Existing surfaces scheduled to receive membrane shall be clean having all dirt, debris, concrete, water and saw cutting slurry, protection sheet and existing insulation removed from the surface.
 - 3. Do not use acids or water blasting in surface preparation work.
- B. Protection:
 - 1. Do not allow construction equipment or other trades on prepared and cleaned substrate.
 - 2. Do not store materials or equipment on prepared and cleaned substrate.
 - 3. Do not allow construction traffic personnel to traverse across prepared and cleaned substrate.

3.2 DETAIL APPLICATION

- A. Before final surface preparation, examine exposed substrates intended for adhered liquid flashing for cracks and joints. Detail all such cracks and joints after surface preparation in accordance with manufacturer's recommendations.

3.1 MEMBRANE INSTALLATION

- A. Provide a total sheet membrane system which the manufacturer agrees in writing is suitable for this project. This Section specifies the minimum system installation specifics required for the work.
 - 1. Apply sheet membrane or liquid flashing materials in accordance with the manufacturer's instructions.
 - 2. Do not apply waterproofing in wet weather or on damp concrete surfaces.
 - 3. Follow manufacturer's minimum temperature recommendations for installation.
 - 4. Install waterproofing on walls before installing on roof slab.
 - 5. If a portion must be left partially complete, finish exposed edges of outside strip with a trowel bead of mastic.

B. Application

- 1. Roll waterproofing sheet into primed surfaces to a smooth finish without wrinkles or air spaces, with a side lap and end lap of not less than 2-1/2 inches.
- 2. Apply waterproofing in double thickness over any joints.
- 3. Termination:
 - a. Top of wall: Roll down firmly top edge of waterproofing on vertical surface and finish with a trowel bead of mastic per manufacturer's standard details.
 - b. Base of wall: Install 3/4 inch, continuous sealant cove at base of vertical surface. Continue membrane across horizontal surface of footing. Terminate on vertical surface of footing per manufacturer's standard details. Seal terminations with mastic.
- 4. Lap and adhere horizontal waterproofing onto vertical waterproofing minimum 12 inches.
- 5. Inspect waterproofing prior to application of protection board. Patch any holes, tears, or misaligned seams with waterproofing.
- 6. Apply protection board over waterproofing as work progresses.

3.2 DRAINAGE BOARD:

- A. Provide drainage board/ root barrier on all surfaces, including vertical surfaces, as indicated.
- B. Begin installation at low point of deck area and proceed to high point. Panels shall be butted tightly.
- C. Overlap drainage fabric in shingle fashion between abutting panels. Minimum overlap of fabric onto adjoining panel shall be 2".
- D. Seal fabric overlap to abutting panel fabric with mastic as approved by the drainage board manufacturer. Install a minimum 1/4" wide continuous bead of mastic between overlap areas.
- E. Where drainage board terminates at walls or other projections, wrap filter fabric over exposed edge and terminate on underside of board. Extend filter fabric a minimum of 1-1/2 inches onto underside of board.
- F. Temporarily weight drainage board to maintain in place until next phase of work. Size and type of weight provided shall not damage previously complete waterproofing work or drainage board.
- G. Cover drainage board promptly with next phase of work. Do not allow drainage board to be exposed for more than seven days. If drainage board is scheduled for exposure beyond seven days, install a supplemental layer of filter fabric to protect against excessive dirt and debris buildup as well as UV exposure. Remove and discard filter fabric prior to the installation of permanent overburden materials.
- H. On vertical wall surfaces, terminate drain board at bottom of walls:
 - 1. Wrap filter fabric over exposed edge of drainage board per Item 3.4, E above.
 - 2. At two sided formed foundation wall, terminate drainage board at bottom of perimeter drain tile.

3.3 FIELD QUALITY CONTROL

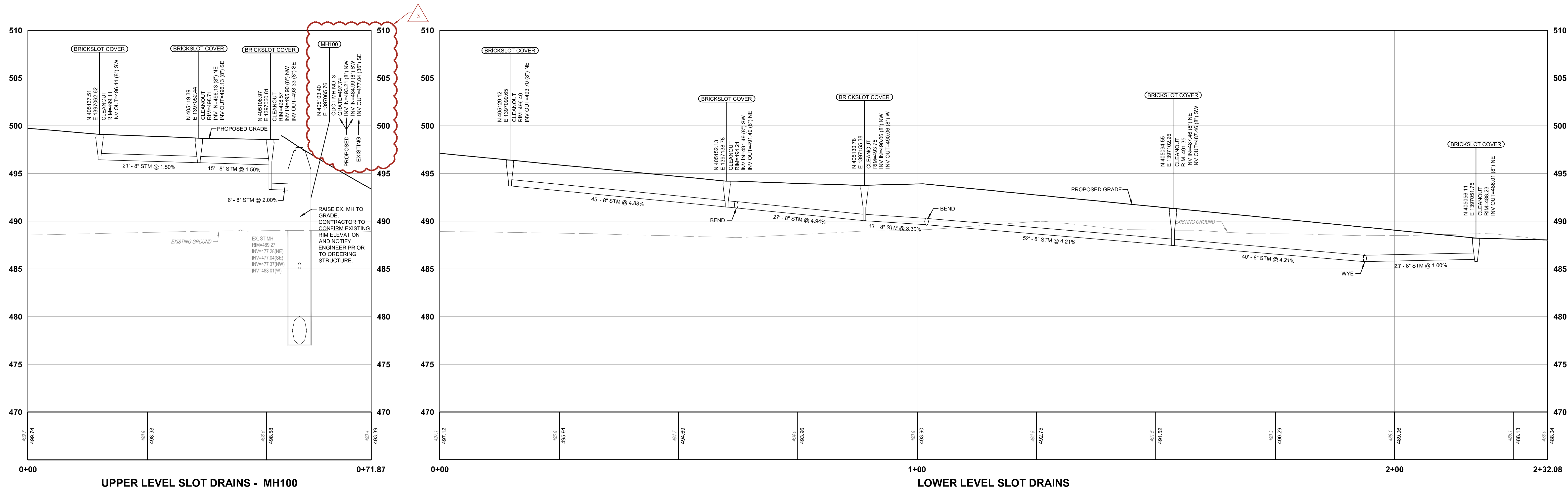
- A. Manufacturer's Field Service
 - 1. A technically competent employee of the waterproofing membrane manufacturer (the technician), not associated with the Contractor or the installation crew shall be on site before the first installation of the membrane system. Provide resume of experience and credentials for Approval to Owner.
 - 2. The technician shall remain on site for the length of time necessary to observe the preparation and installation of 20% of waterproofing system, including the drainage mat.
 - 3. Do not begin application of the waterproofing membrane system until the technician has approved the preparation, cleanliness, and surface texture of the substrate.

4. The technician shall review all Contractor application techniques and procedures and shall advise the Contractor when, where and as required to obtain specification compliance.

3.4 CLEAN-UP

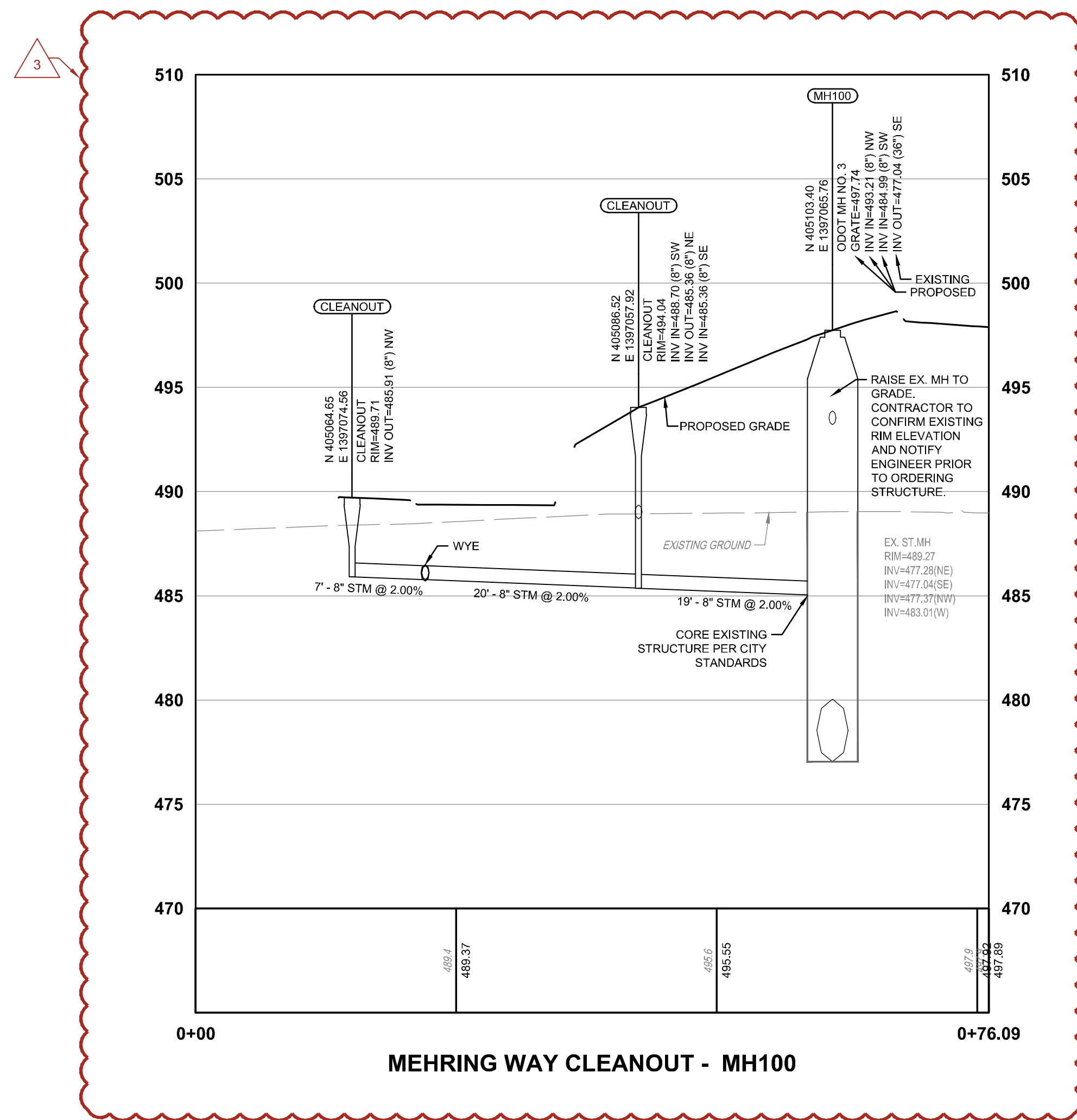
- A. During the progress of the work, remove from the project all discarded materials and debris.
- B. Clean all surfaces affected by work of this Section and repair all damage caused to adjacent construction or property, at no cost to the Owner.
- C. Leave adjacent premises clean and free of construction dirt and debris that resulted as part of the construction process.
- D. Remove empty containers from the facility at the end of each working day.
- E. Place soiled cloths that constitute fire hazards in suitable metal safety containers or remove them from the site at the end of each working day. Take special care in storage or disposal of flammable materials. Comply with health and fire regulations.

END OF SECTION



UPPER LEVEL SLOT DRAINS - MH100

LOWER LEVEL SLOT DRAINS



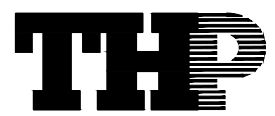
MEHRING WAY CLEANOUT - MH100



ELM ST. YARD DRAIN - CLEAN OUT

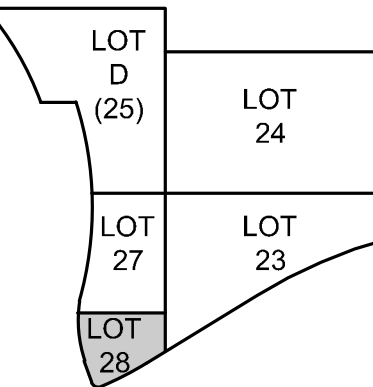


HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS



THP Limited, Inc.
Consulting Engineers
100 East Eighth Street
Cincinnati, Ohio 45202
Phone: (513) 241-3222
Fax: (513) 241-2981

NO.	DATE	DESCRIPTION
1	10/20/2021	ISSUED FOR PERMIT
2	11/07/2021	REVISED PER CITY COMMENTS
3	01/14/2022	REVISED PER CITY COMMENTS



DRAWN BY: M.K.
ENGINEER: M.K.
CHECKED BY: S.K.

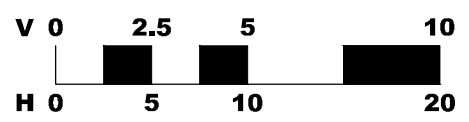
LOT 28 GARAGE
AND PARK

DRAWING TITLE

STORM PROFILES

JOB NUMBER: 98090.34
DATE: 12/17/2021

C102.1

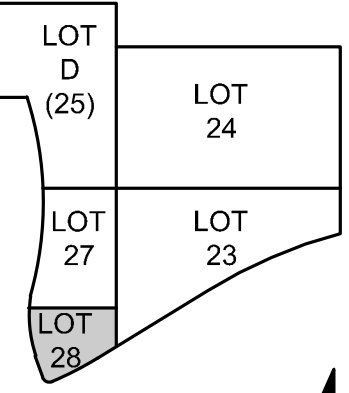




HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS

THP
THP Limited, Inc.
Consulting Engineers
100 East Eighth Street
Cincinnati, Ohio 45202
Phone: (513) 241-3222
Fax: (513) 241-2981

NO.	DATE	DESCRIPTION
1	10/09/2021	ISSUE FOR CONSTRUCTION DOCUMENTS
2	12/07/2021	REVISION: PARK & GARAGE
3	01/14/2022	REVISION: PARK & GARAGE (ADDendum 1)



DRAWN BY: M.K.
ENGINEER: M.K.
CHECKED BY: S.K.

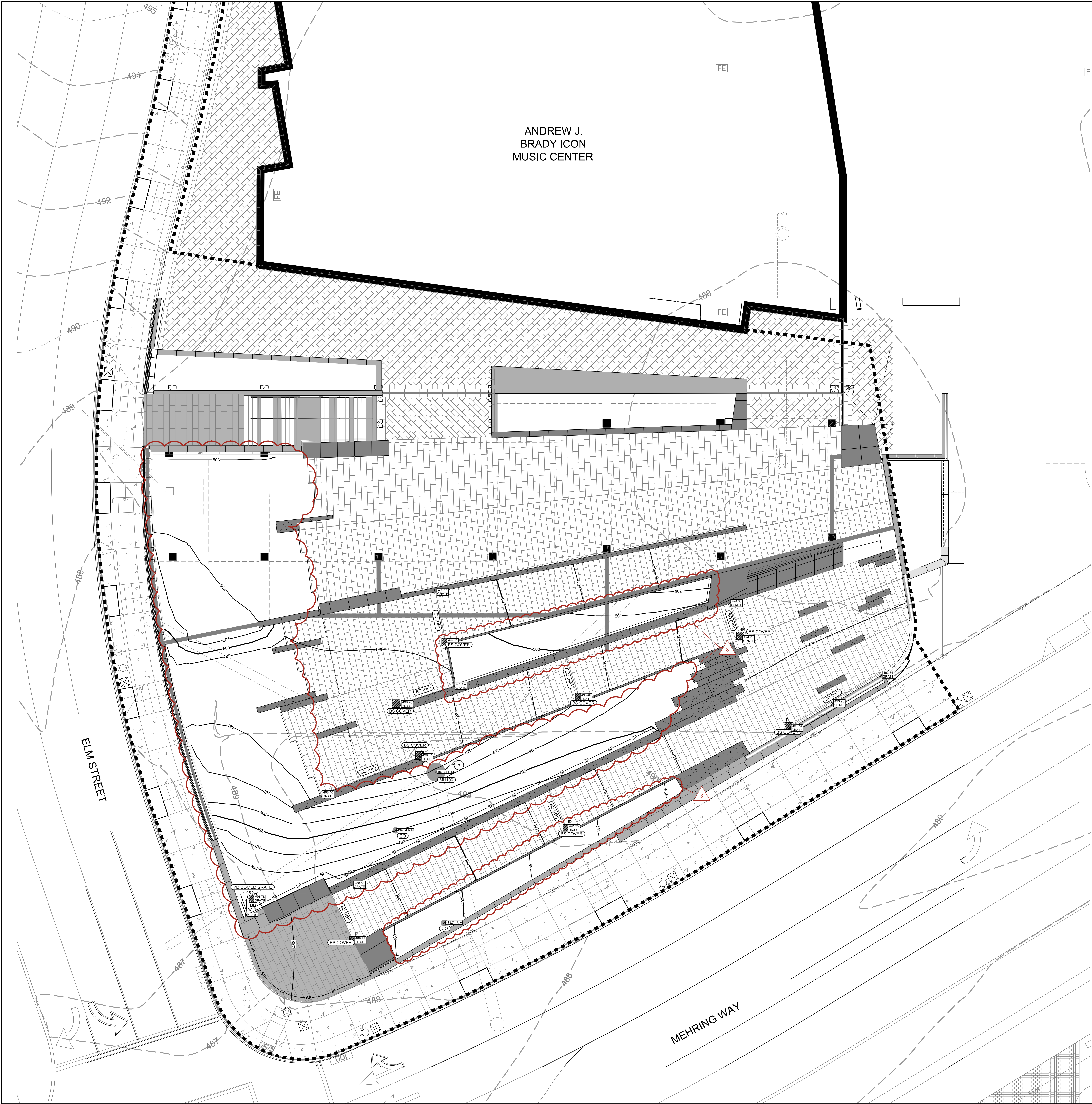
LOT 28 GARAGE
AND PARK

DRAWING TITLE
GRADING PLAN

JOB NUMBER
98090.34

DATE
12/17/2021

C103



GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL CALL TOLL FREE, THE OHIO UTILITIES PROTECTION SERVICE (1-800-362-3764) 48 HOURS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ALL UTILITY COMPANIES WHO ARE NON-MEMBERS OF THE OHIO UTILITIES PROTECTION SERVICE AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR UNDERGROUND LINES.
2. CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS.
3. THE CONTRACTOR IS REQUIRED TO VISIT THE SITE AND FULLY INFORM HIMSELF CONCERNING ALL CONDITIONS AFFECTING THE SCOPE OF THE WORK. FAILURE TO VISIT THE SITE SHALL NOT RELIEVE HIM FROM ANY RESPONSIBILITY IN THE PERFORMANCE OF THE CONTRACT.

GRADING NOTES

1. ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
2. ALL FILL UNDER PAVEMENT SHALL BE COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
3. CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL PRACTICES REQUIRED BY CITY OF CINCINNATI AND THE OHIO EPA.
4. ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IF NO SPECIFICATIONS ARE SUPPLIED, USE DOT ITEM 659.
5. CONTRACTOR TO LAYOUT BUILDING / STRUCTURE BASED ON ARCHITECTURAL/FOUNDATION PLANS. SITE PLAN IS FOR CONCEPTUAL PURPOSES ONLY.

GENERAL NOTE

REFER TO SHEET A102 FOR DETAILED GRADING

CODED NOTES

1. ADJUST RIM TO PROPOSED GRADE

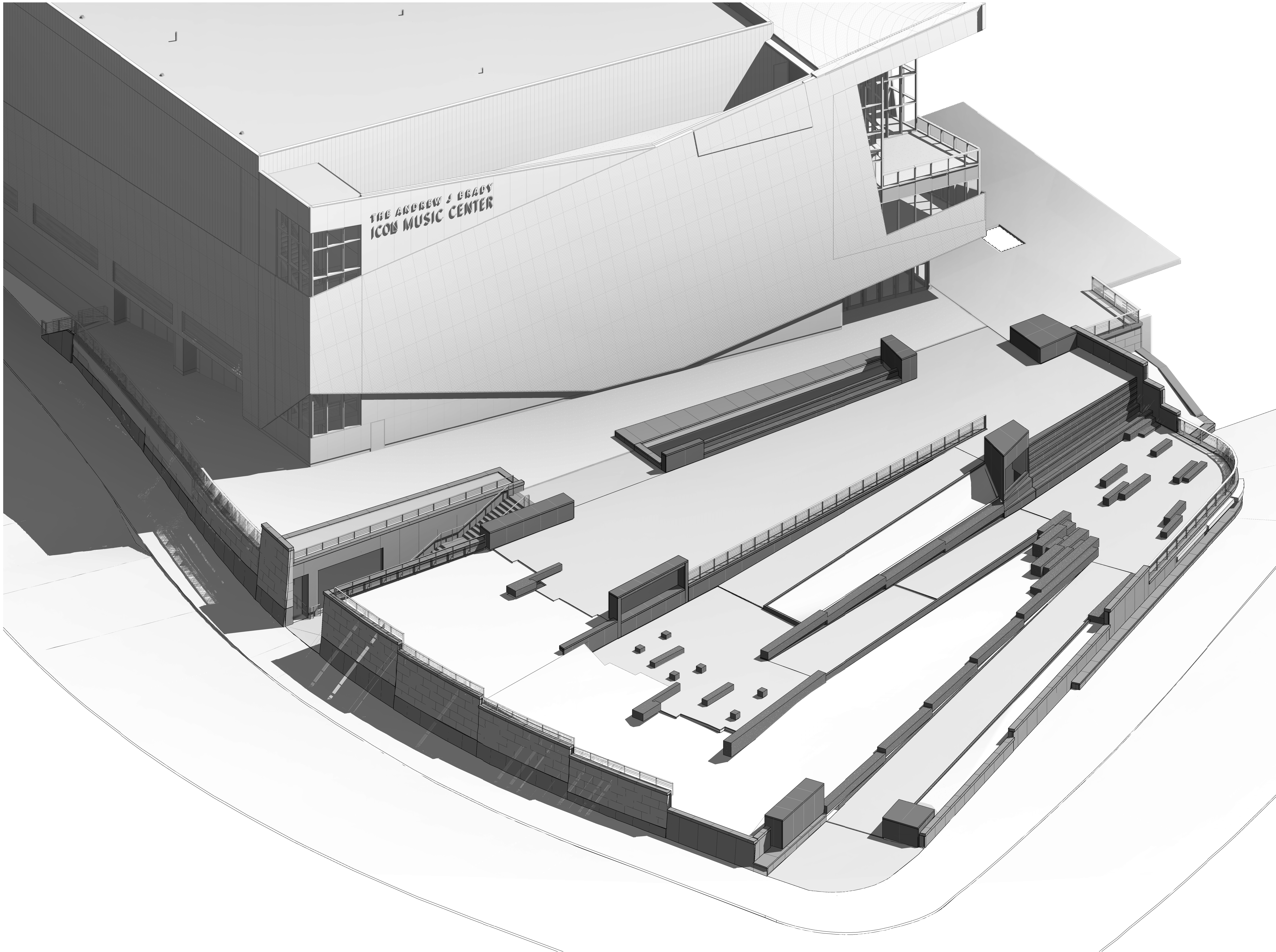
GRADING LEGEND

- 1215 — EXISTING MAJOR CONTOUR
- 1216 — EXISTING MINOR CONTOUR
- 1215 — PROPOSED MAJOR CONTOUR
- 1216 — PROPOSED MINOR CONTOUR
- 1215.00 PROPOSED SPOT ELEVATION
- — LIMITS OF WORK

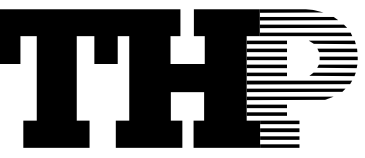
PROPOSED EROSION CONTROL LEGEND

- IP INLET PROTECTION, USE GRAVEL / SANDBAGS AS NEEDED TO PROTECT DURING CONSTRUCTION AND ERTE-SLOT GUARD OR APPROVED EQUAL
- DB DANDY BAG
- SF SILT FENCE
- CONVO CONCRETE WASHOUT
- CONSTRUCTION ENTRANCE, MAINTAIN AS NECESSARY, INSTALLED IN BID PACKAGE 1





HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS

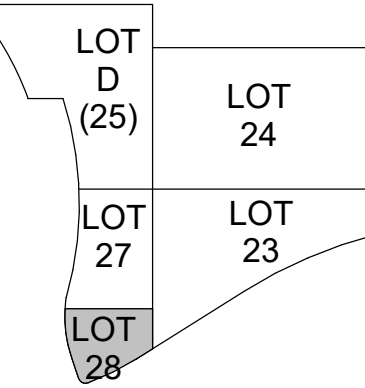


THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202
513.241.3222
THPLTD.com

This document is the product and property
of THP Limited. Neither the document nor
the information it contains may be copied
or reused for other than the specific
project for which it was prepared without
the written consent of THP Limited.

ISSUE/REVISIONS (ISSUE/REVISIONS CONTINUED)

1. 07/13/2021 BPFZ ADDENDUM #2

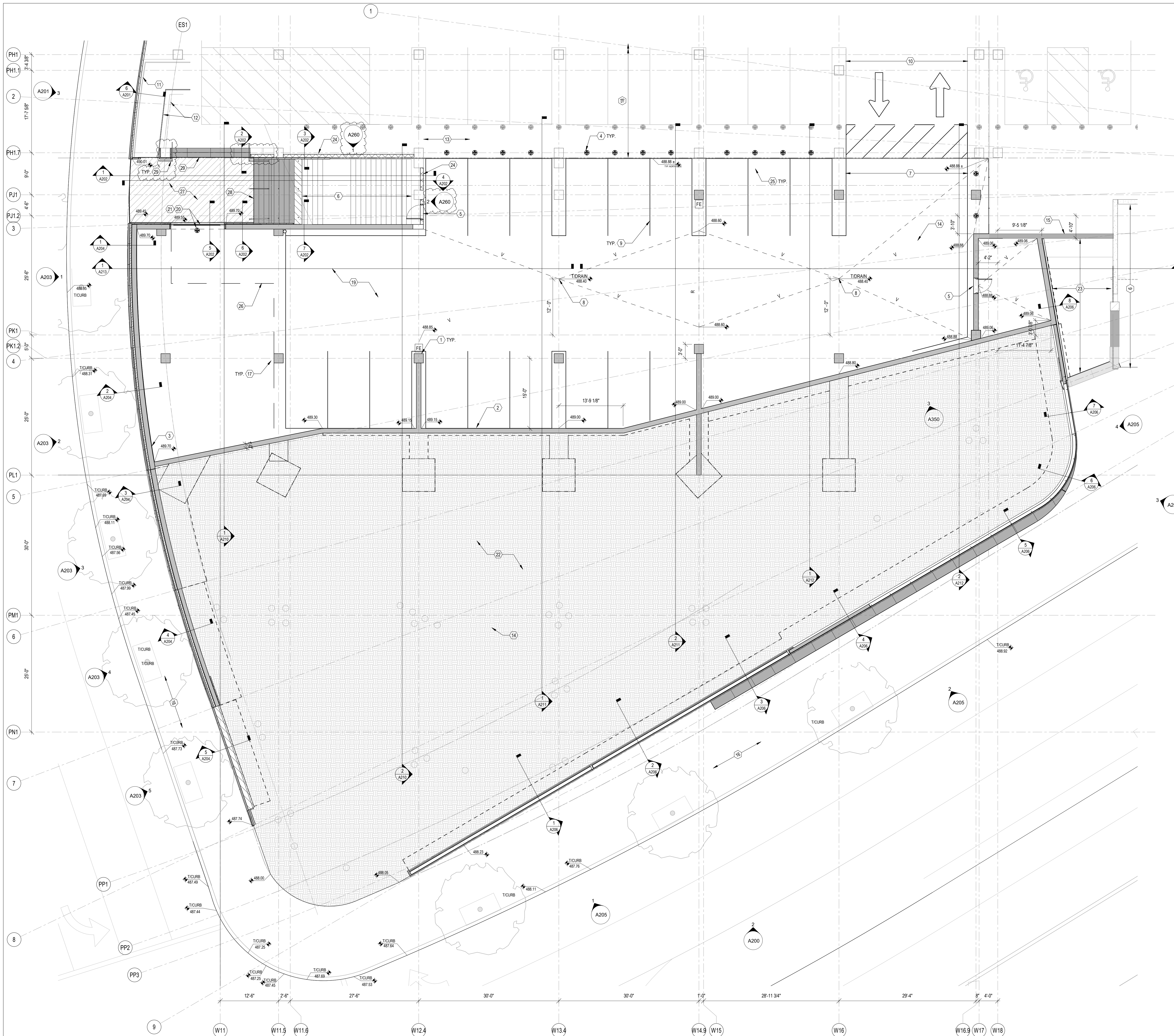


PROJECT ARCHITECT
PROJECT MANAGER
PRINCIPAL
CHECKED BY
Checker



DRAWING TITLE
AXONOMETRIC VIEW

JOB NUMBER
THP 98090.40
DATE
12/17/2021
DRAWING NUMBER
A002



LEGEND:

- EXISTING COLUMN/WALL (REFER TO STRUCTURAL DWGS)
- NEW COLUMN/WALL (REFER TO STRUCTURAL DWGS)
- STRUCTURAL SLAB SPOT ELEVATIONS (UN.O.)
- VALLEY
- RIDGE
- RIGHT OF WAY
- PLUMBING RISER (REFER TO PLUMBING DRAWINGS)
- AREA DRAIN (REFER TO PLUMBING DRAWINGS)
- FIRE EXTINGUISHER

GENERAL NOTES:

- SEE STRUCTURAL DRAWINGS FOR TYPICAL CONCRETE STRUCTURE INFORMATION (COLUMNS, WALLS, SLABS, ETC.).
- AT SUPPORTED SLABS, CREATE DRAINAGE SADDLES BY THICKENING SLAB. CREATE ALL OTHER DRAINAGE SLOPES BY SLOPING SUBGRADE AND FORMWORK.
- PAIN ALL SOFFITS/CEILING, DROPS, BEAM SURFACES, AND ADJACENT ITEMS PER SPECIFICATION SECTION 09110 AND DETAILS ON DRAWING A221.

DRAWING NOTES:

- CONCRETE COLUMN. REFER TO STRUCTURAL DRAWINGS.
- CONCRETE RETAINING WALL. REFER TO STRUCTURAL DRAWINGS.
- BATTERED CONCRETE WALL WITH STONE CLADDING.
- NEW BOLLARDS. REFER TO DETAIL 1 & A221.
- HOLLOW METAL DOOR & FRAME.
- EXISTING PARK STAIR STRUCTURE. MAINTAIN PEDESTRIAN ACCES.
- GARAGE DRIVE ASLE.
- FLOOR DRAIN. REFER TO PLUMBING DRAWINGS.
- PAINTED GARAGE STRIPING. SEE DETAILS 3 & 4/A221.
- EXISTING PAINT STRIPING WITHIN NEW DRIVE ASLE TO BE REMOVED.
- EXISTING MSE WALL.
- EXISTING RAMP AND STAINLESS STEEL RAILING TO REMAIN.
- PEDESTRIAN WALKWAY.
- ADJUST TOP OF EXISTING MANHOLE TO NEW SLAB OR SOIL ELEVATION. PROVIDE NEW SOLID CIRCULAR SEALED & GASKETED LID. SEE DWG SW101 ALSO.
- EXISTING CONCRETE WALL.
- REFER TO D101 FOR EXTENT OF MEHRING WAY AND ELM ST. SIDEWALK REMOVAL.
- PLUMBING RISER (REFER TO PLUMBING DRAWINGS).
- EXISTING LOT 27 PODIUM STRUCTURE.
- PAIN CEILING OF LOWER LEVEL. REFER TO DETAILS 8-11/A221 & SPECIFICATION SECTION 09110.
- SLOT DRAIN AT DOORWAY OPENING.
- REMOVABLE BOLLARD AT DOORWAY OPENING. REFER TO DETAIL XXXX.
- ENGINEERED FILL SOUTH OF THE CONCRETE RETAINING WALL.
- PLANTER BY OTHERS.
- ALTERNATING 8" SMOOTH AND 4" SPLIT-FACE CMU COURSING (UNPAINTED), SPLIT-FACE ON VISIBLE (EXPOSED TO VIEW) SIDE. GROUT WALL SOLID FULL HEIGHT.
- ALIGN NEW BOLLARDS WITH EXISTING LOT 27 BOLLARDS.
- FULL HEIGHT FENCING AT STORAGE WITH GATE.
- REMOVE SLAB ON GRADE AND INSTALL GRANITE PAVERS.
- GRANITE TREADS CLAD ON EXISTING ELM ST. STAIR.
- REMOVE EXISTING STAIRS AT LOT 27 GARAGE ENTRANCE AND INSTALL GRANITE CLAD STAIRS.
- STAINLESS STEEL RAILING. REFER TO A240.



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS



THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202

513.241.3222
THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.

ISSUE/REVISIONS (ISSUE/REVISIONS CONTINUED)

1	12/17/2021	BP2, PARK & GARAGE
2	01/13/2022	BP2, ADDENDUM #2

LOT D (25)	LOT 24
LOT 27	LOT 23
LOT 28	

PROJECT ARCHITECT
J.M.H.
PROJECT MANAGER
M.S.M.
PRINCIPAL
J.M.J.
CHECKED BY
M.S.M.



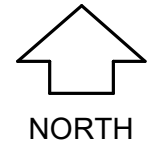
DRAWING TITLE

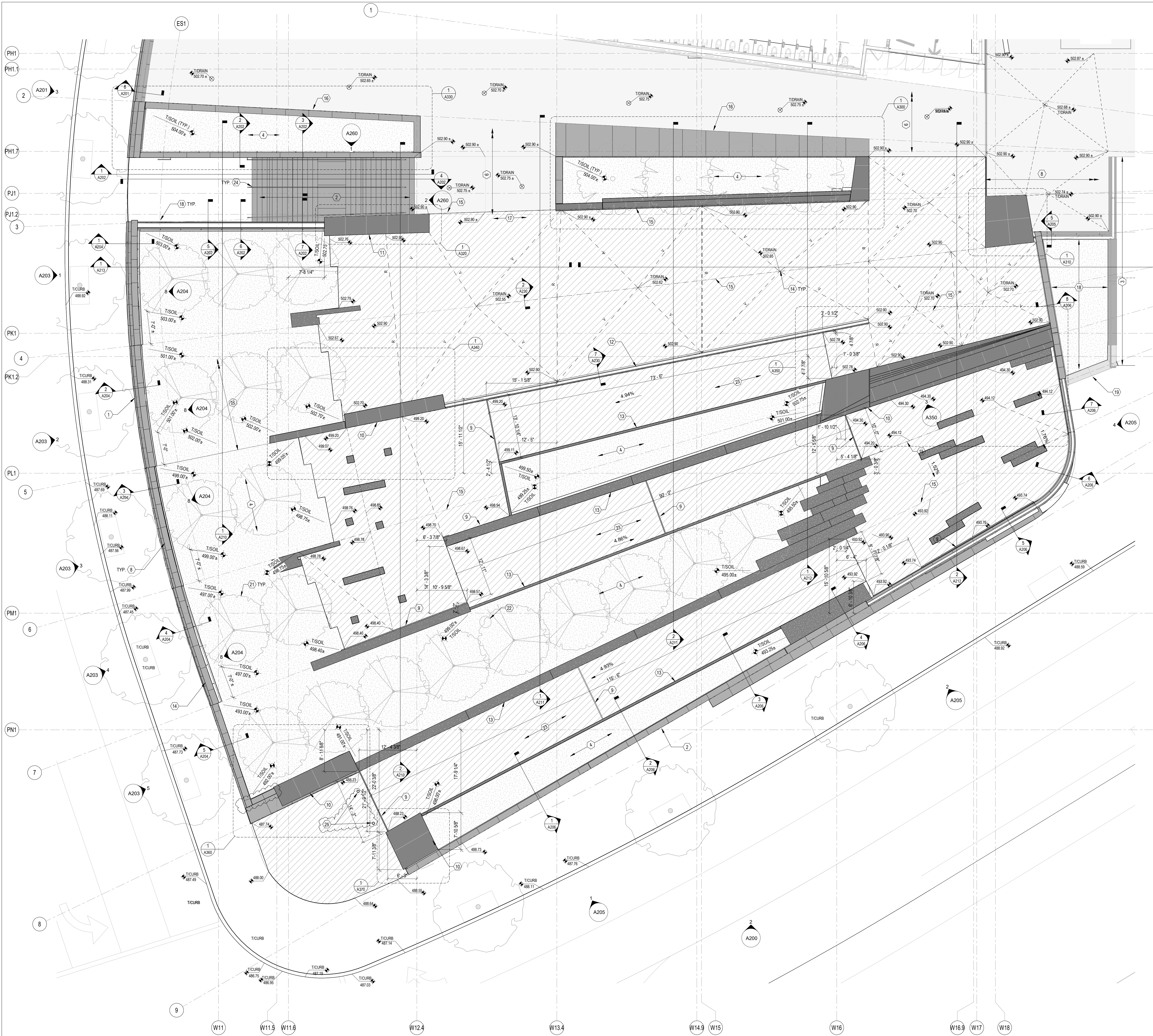
LOWER LEVEL PLAN

JOB NUMBER
THP 98090.40
DATE
12/17/2021
DRAWING NUMBER

A101

1
A101
LOWER LEVEL PLAN
1/8" = 1'-0"





LEGEND:

- GRANITE PAVING (REFER TO LANDSCAPE DRAWINGS)
- MESABI BLACK GRANITE (SOLID)
- MESABI BLACK GRANITE (CLADDING)
- PRAIRIE BROWN GRANITE
- GROUND COVER
- EXISTING GRANITE PAVERS (DEER ISLE, TYP.)
- TIGRANITE PAVERS SPOT ELEVATIONS (U.N.O.)
- VALLEY
- RIDGE
- RIGHT OF WAY
- TREE PIT/PLANTER DRAIN
- AREA DRAIN (REFER TO PLUMBING DRAWINGS)

GENERAL NOTES:

- REFER TO LANDSCAPE DRAWINGS FOR PLANTINGS, PAVEMENT PATTERNS, AND SITE FURNISHINGS.
- REFER TO MMA DRAWINGS FOR ADDITIONAL DETAILS FOR SOLID GRANITE ELEMENTS.

DRAWING NOTES:

- BATTERED CONCRETE WALL WITH SAND STONE AND GRANITE CLADDING.
- CONCRETE RETAINING WALL WITH GRANITE CLADDING.
- EXISTING PARK STAIR, MAINTAIN PEDESTRIAN ACCESS.
- LANDSCAPE AT PLANTERS, REFER TO LANDSCAPE DRAWINGS.
- LANDSCAPE FILL DOWN TO GRADE, REFER TO LANDSCAPE DRAWINGS.
- EXISTING LOT 23 LOT 27 PODIUM STRUCTURE.
- EXISTING LOT 27 GRANITE COPING AND STAINLESS STEEL RAILING TO BE REMOVED.
- WEST WALL OF PLANTER WITH STAINLESS STEEL GUARDRAIL AT TOP OF WALL. (REFER TO SHEET A801.)
- SLOPE DRAIN, REFER TO PLUMBING DRAWINGS.
- GRANITE CLADDING ELEMENT WITH CONCRETE BACK UP WALL.
- GRANITE CLADDING WITH STAINLESS STEEL FRAMING SUPPORTS.
- PARK RAILING, REFER TO A240.
- SOLID GRANITE ELEMENT, SEE ENLARGED PLANS & DETAILS.
- AT LOW POINTS IN 503 GRANITE PAVERS, INSTALL GRANITE PAVERS WITH FULL HEIGHT SLOTS IN STONE PAVERS FOR DRAINAGE, REFER TO DETAIL XXXX.
- STAINLESS STEEL GRANITE PAVERS TRANSITION STRIP, REFER TO DETAIL 3A300.
- REMOVE PORTION OF EXISTING GRANITE PAVERS AT LOT 27 PLAZA, REFER TO LANDSCAPE DRAWINGS FOR NEW PAVER EDGE PATTERN.
- REMOVE PORTION OF EXISTING GRANITE PAVERS AT TOP ELM ST. STAIR LANDING, REFER TO LANDSCAPE DRAWINGS FOR NEW PAVER EDGE PATTERN.
- PLANTER BY OTHERS.
- GRANITE SEAT WALL BY OTHERS.
- LANDSCAPE FILL ON STRUCTURAL SLAB.
- TREES AT WEST PLANTER, REFER TO LANDSCAPE DRAWINGS.
- ADJUST TOP OF EXISTING MANHOLE TO NEW LANDSCAPE ELEVATION.
- SLOPED WALKWAY.
- STAINLESS STEEL HANDRAIL, REFER TO A240.
- STAINLESS STEEL BOLLARD, SEE DETAIL 6A220.



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS



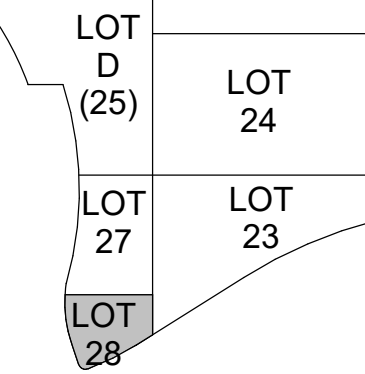
THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202

513.241.3222
THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.

ISSUES/REVISIONS (ISSUES/REVISIONS CONTINUED)

1 12/17/2021 BPF2, PARK & GARAGE
2 01/13/2022 BPF2, ADDENDUM #2



PROJECT ARCHITECT
J.M.H.
PROJECT MANAGER
M.S.M.
PRINCIPAL
J.M.J.
CHECKED BY
M.S.M.

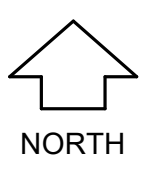


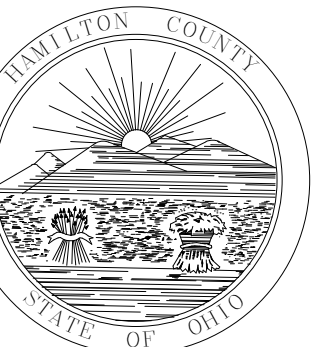
DRAWING TITLE
PARK LEVEL FLOOR PLAN
LAYOUT, GRADING, AND
COMPONENTS

JOB NUMBER DATE
THP 98090.40 12/17/2021
DRAWING NUMBER

A102

1 LEVEL 2BP - PARK LEVEL
A102 1/8" = 1'-0"



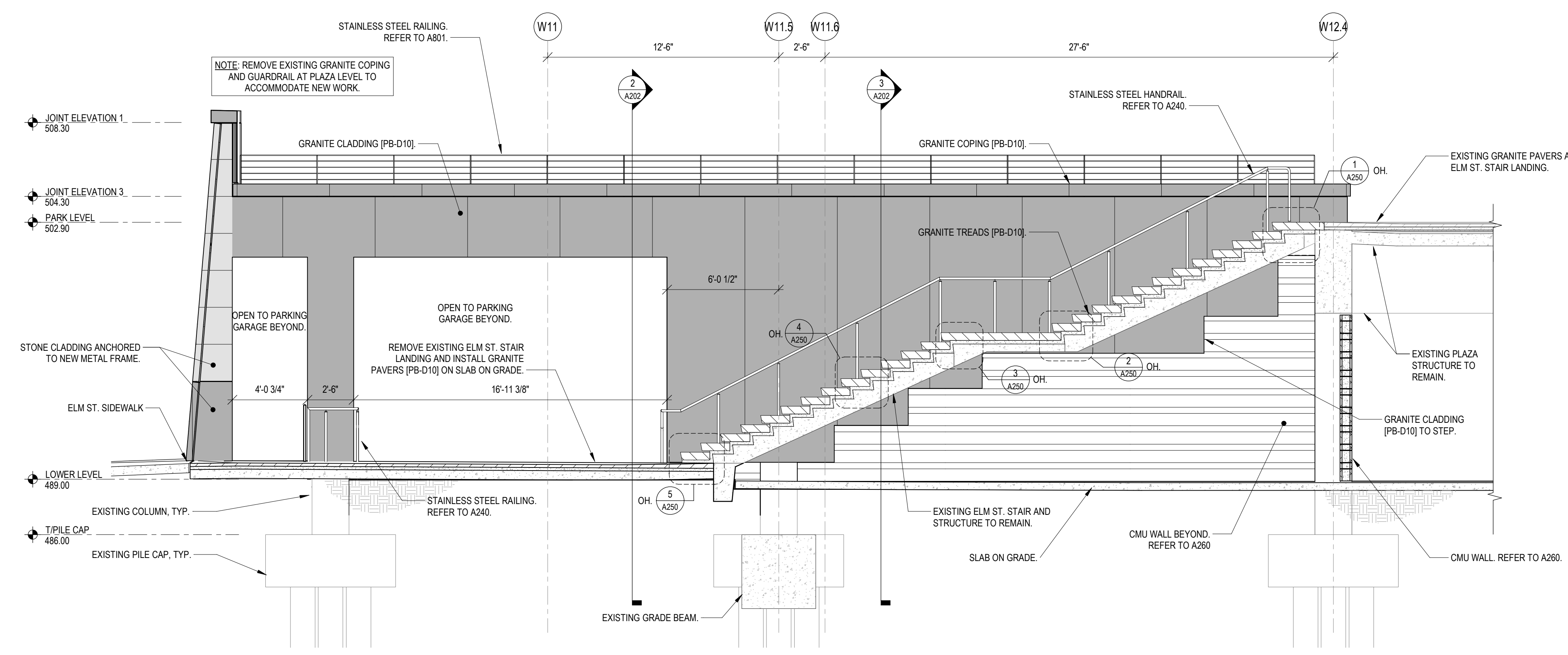


HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS

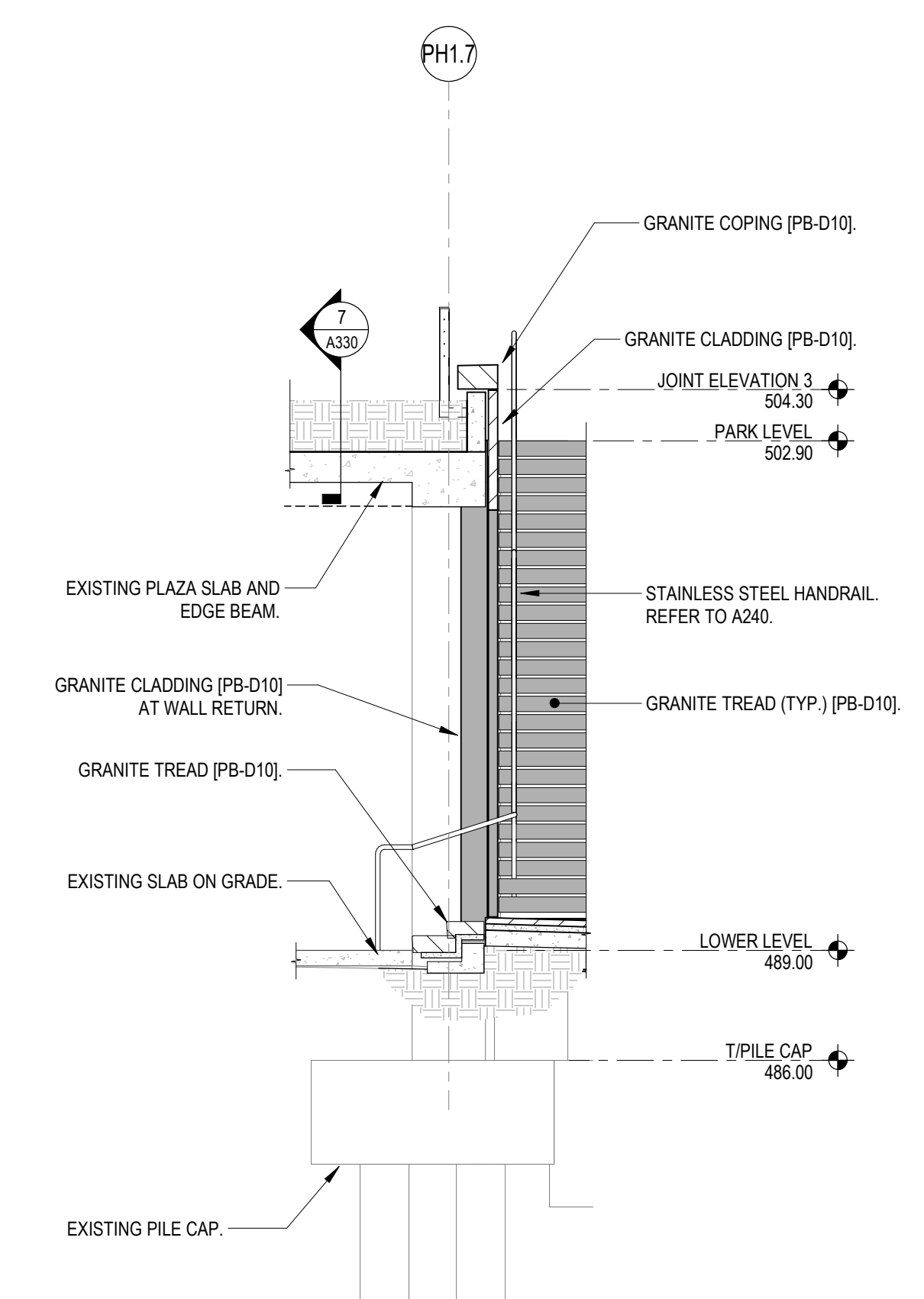


THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202
513.241.3222
THPLTD.com

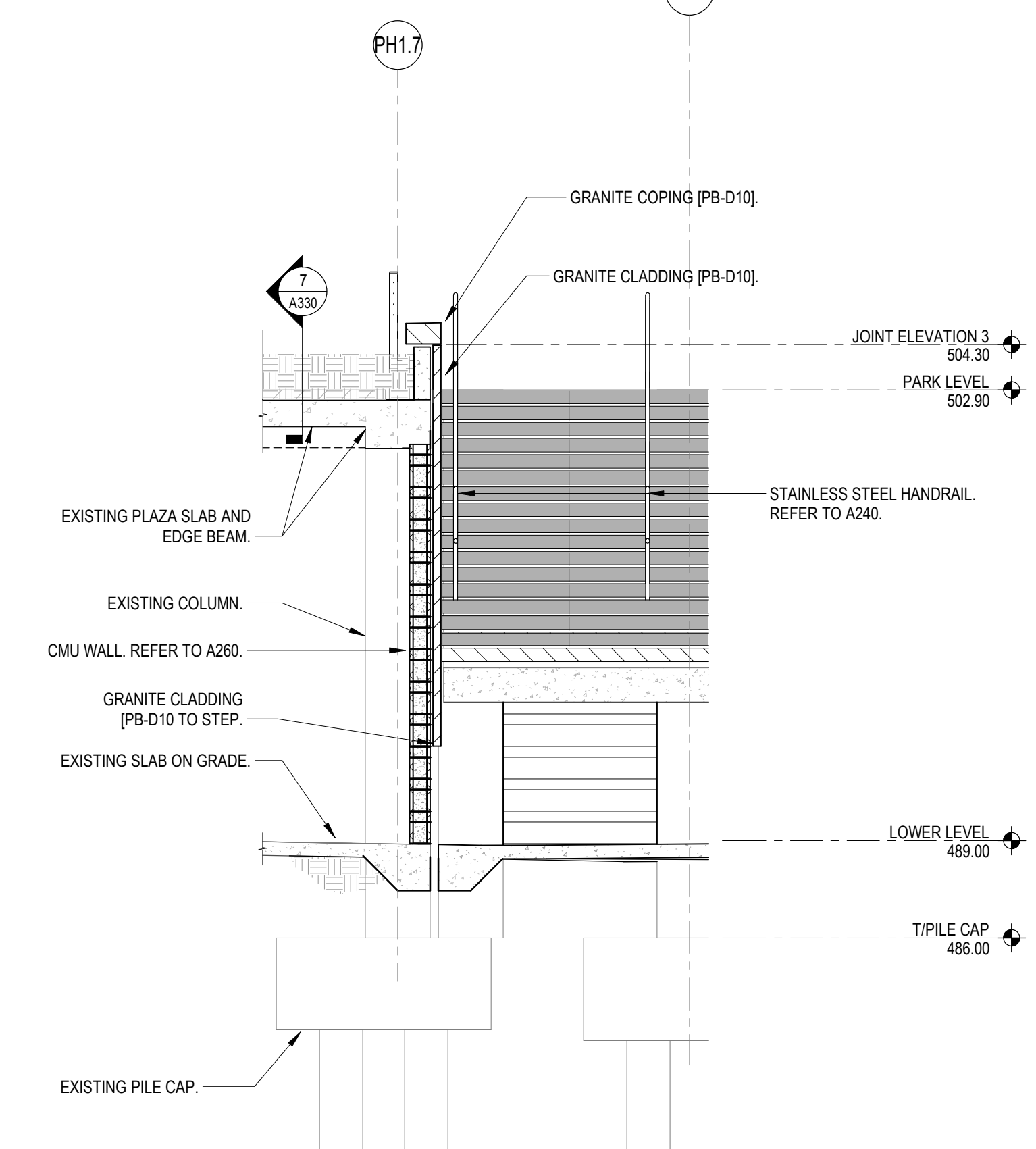
This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.



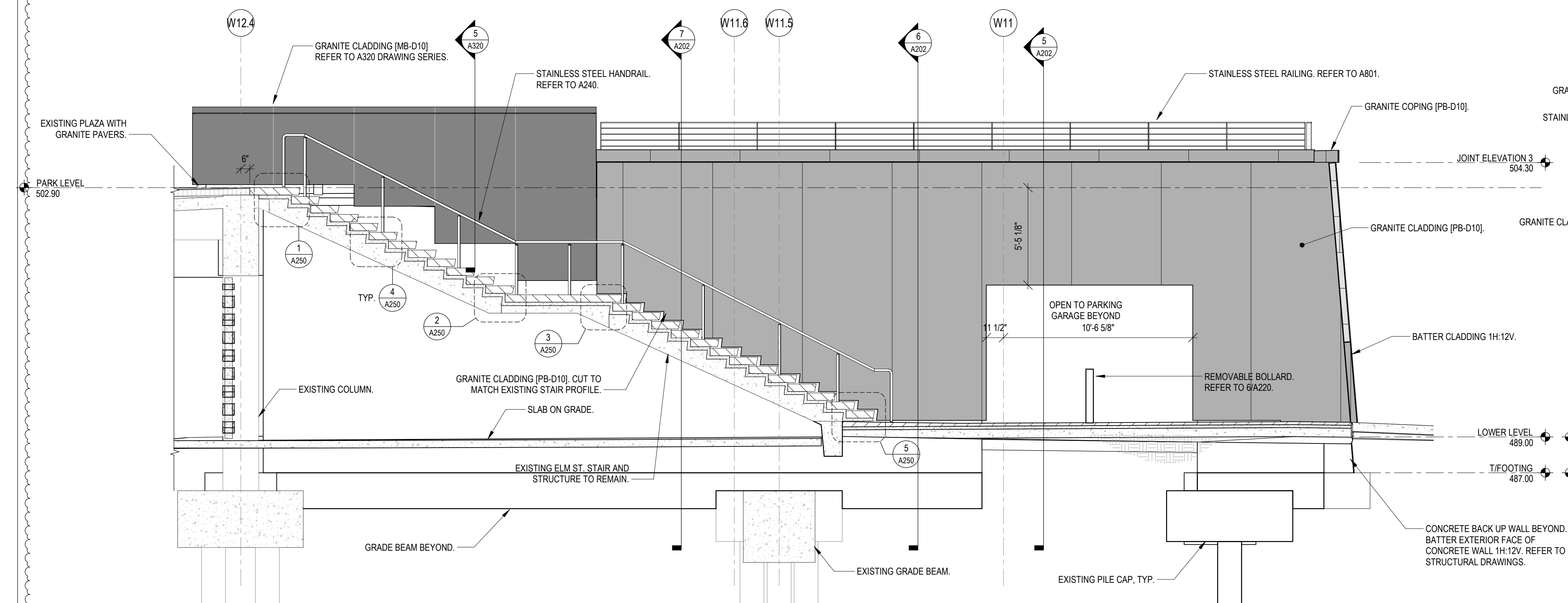
ELM ST. STAIR
1 NORTH ELEVATION
A202 1/4" = 1'-0"



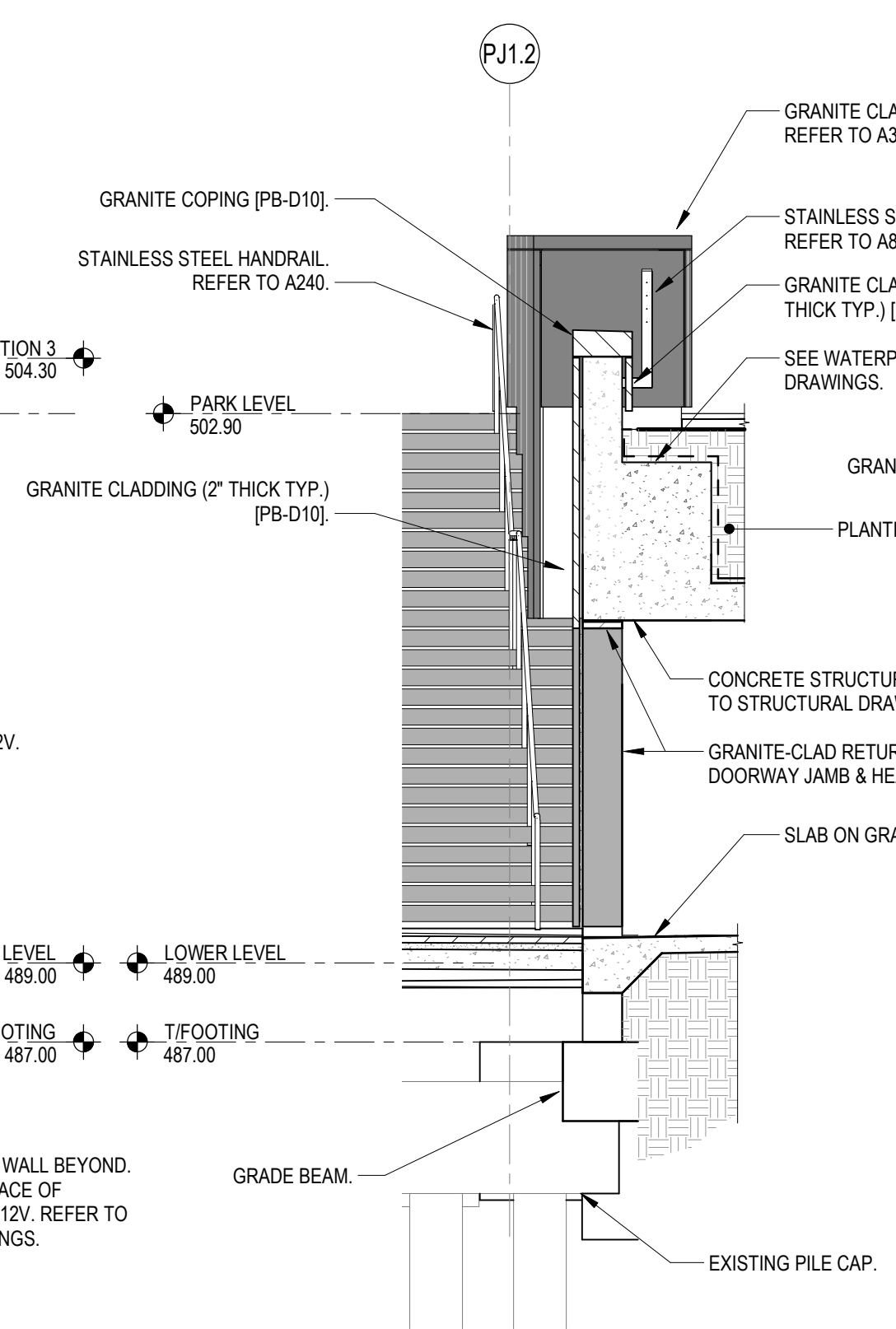
ELM ST. STAIR WALL
2 WALL SECTION
A202 1/4" = 1'-0"



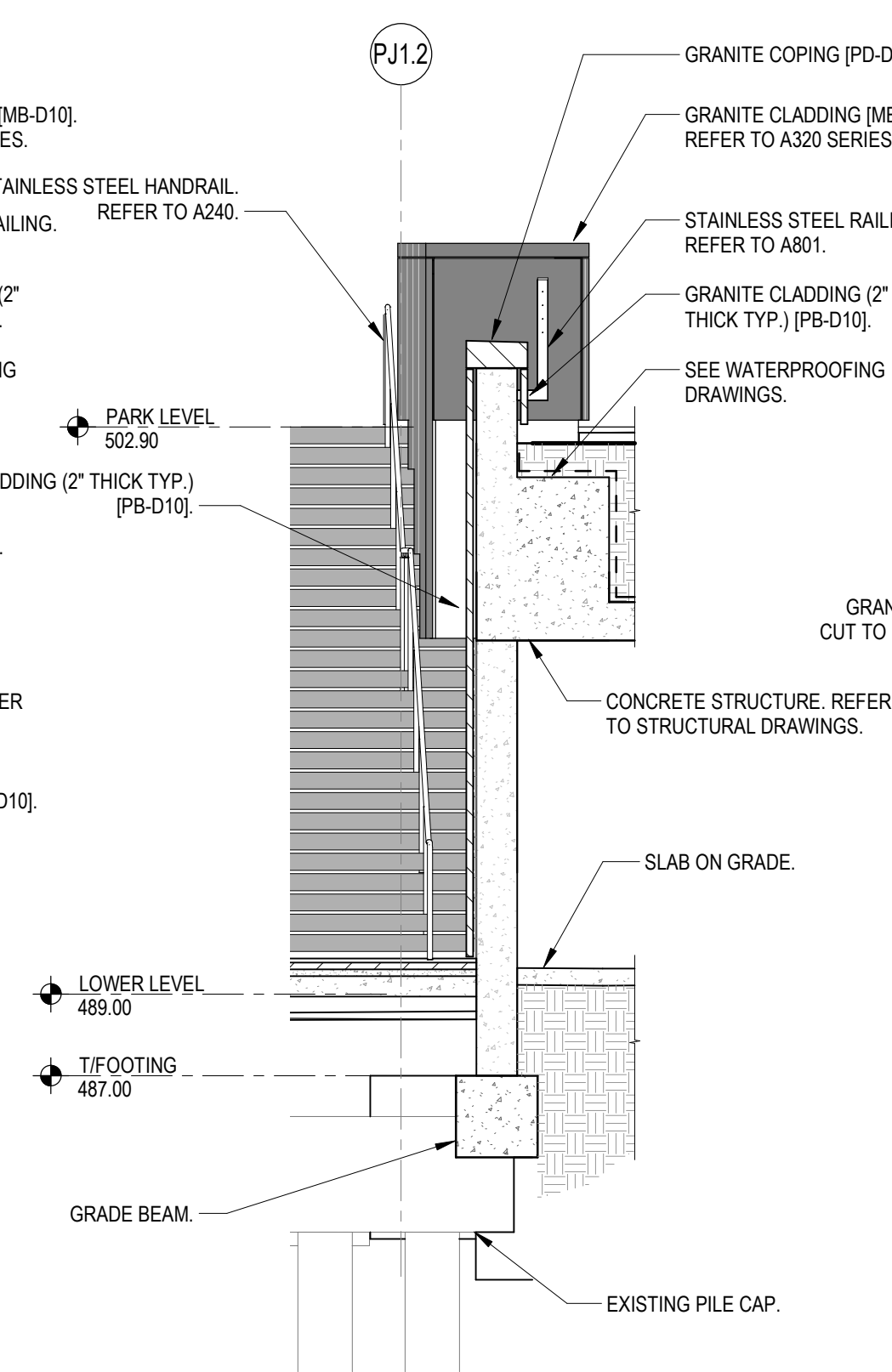
ELM ST. STAIR WALL
3 WALL SECTION
A202 1/4" = 1'-0"



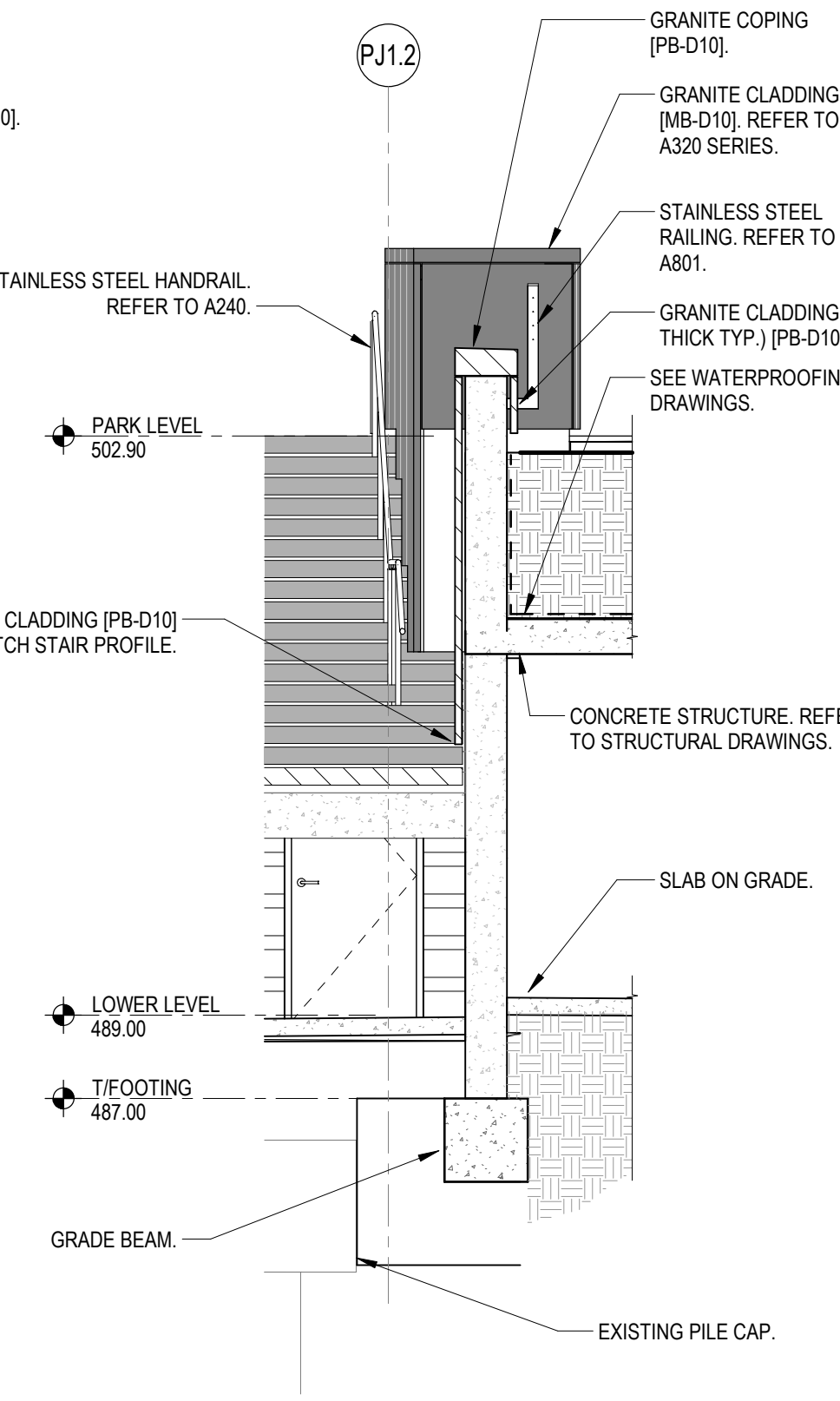
ELM ST. STAIR
4 SOUTH ELEVATION
A202 1/4" = 1'-0"



ELM ST. STAIR WALL
5 WALL SECTION
A202 1/4" = 1'-0"

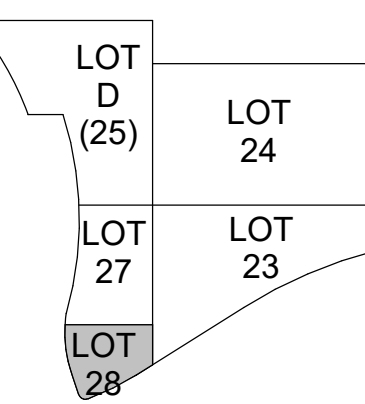


ELM ST. STAIR WALL
6 WALL SECTION
A202 1/4" = 1'-0"



ELM ST. STAIR WALL
7 WALL SECTION
A202 1/4" = 1'-0"

ISSUES/REVISIONS: 1 12/17/2021 BP#2 - PARK & GARAGE 2 01/13/2022 BP#2 - ADDendum #2



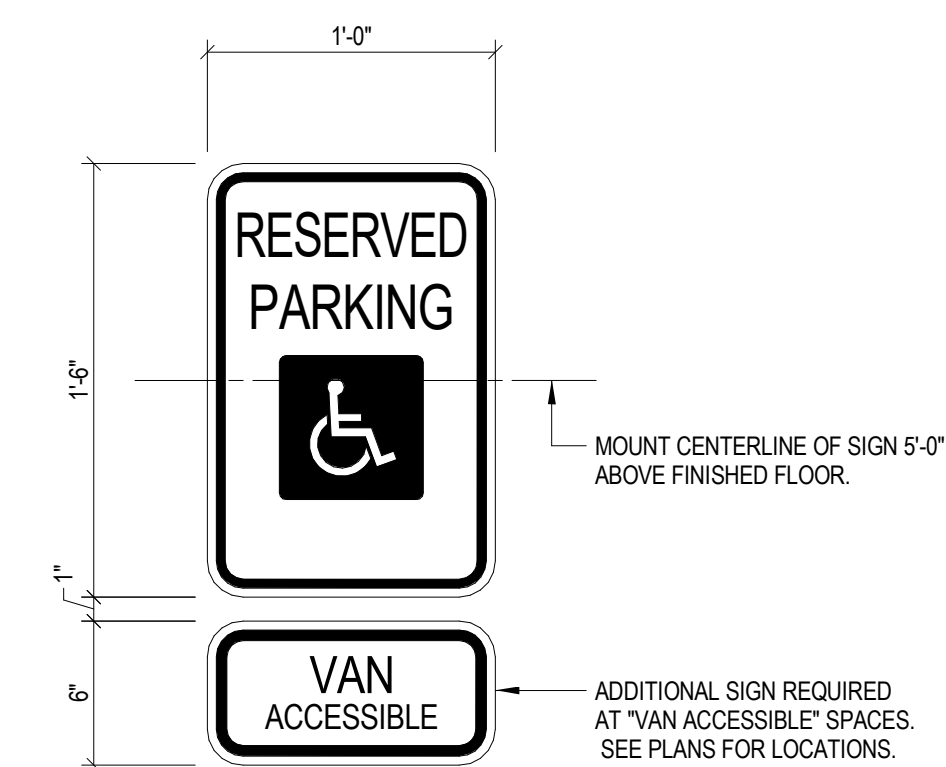
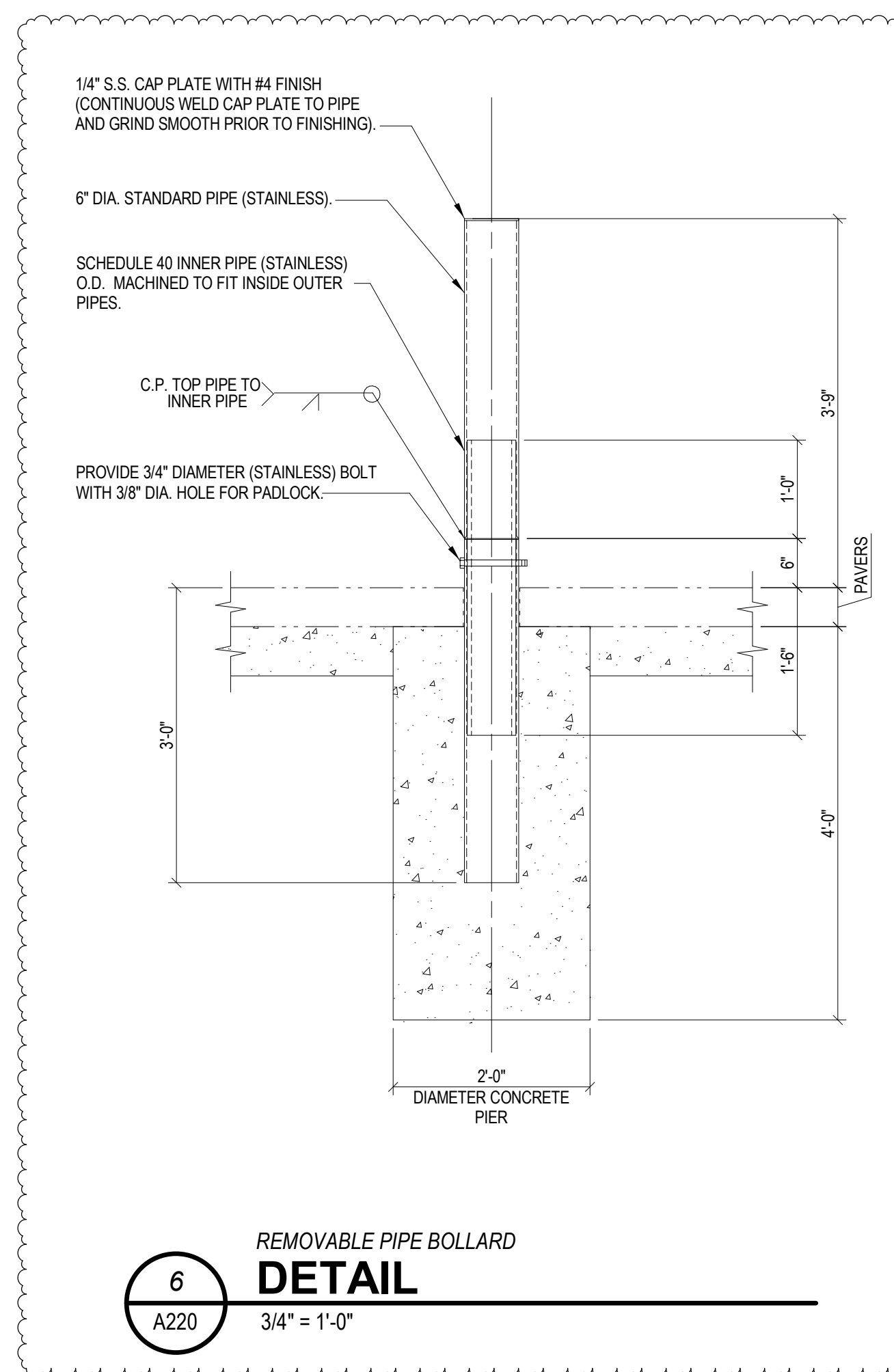
PROJECT ARCHITECT
J.M.H.
PROJECT MANAGER
M.S.M.
PRINCIPAL
J.M.J.
CHECKED BY
M.S.M.



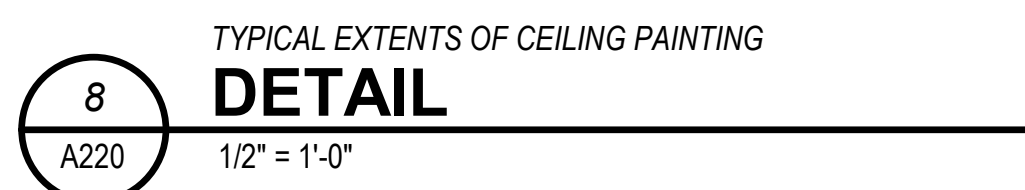
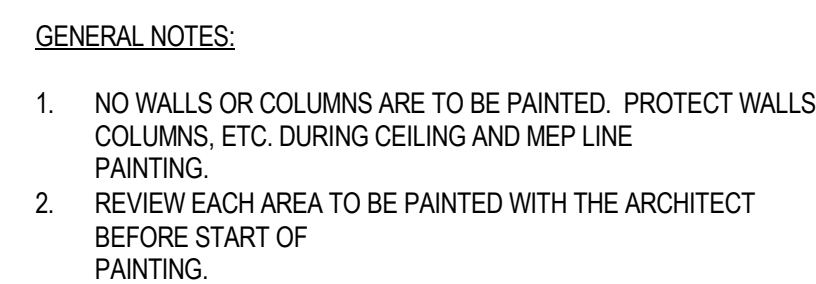
DRAWING TITLE
ELM ST. STAIR ELEVATIONS & SECTIONS

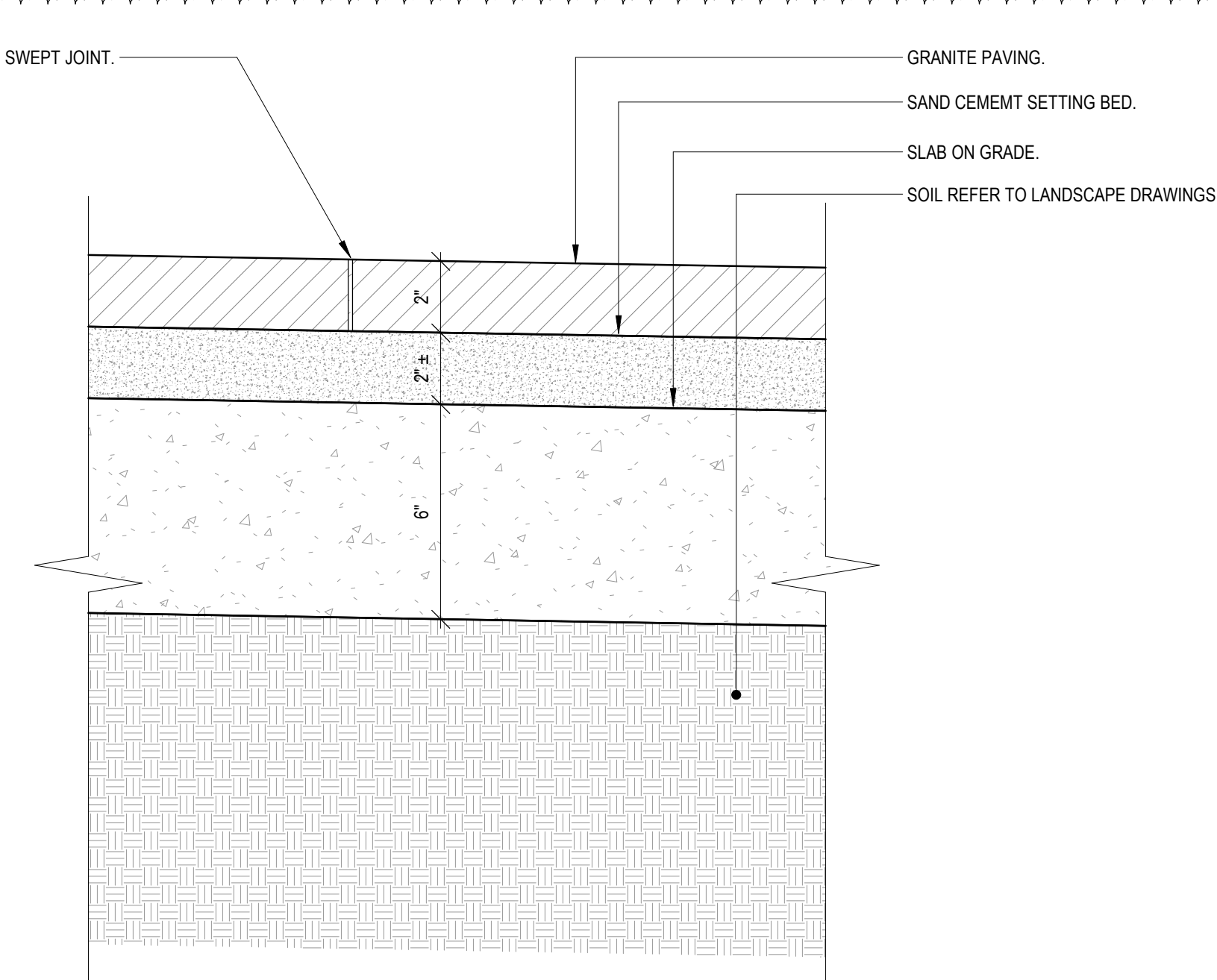
JOB NUMBER
THP 98090.40
DATE
12/17/2021
DRAWING NUMBER

A202



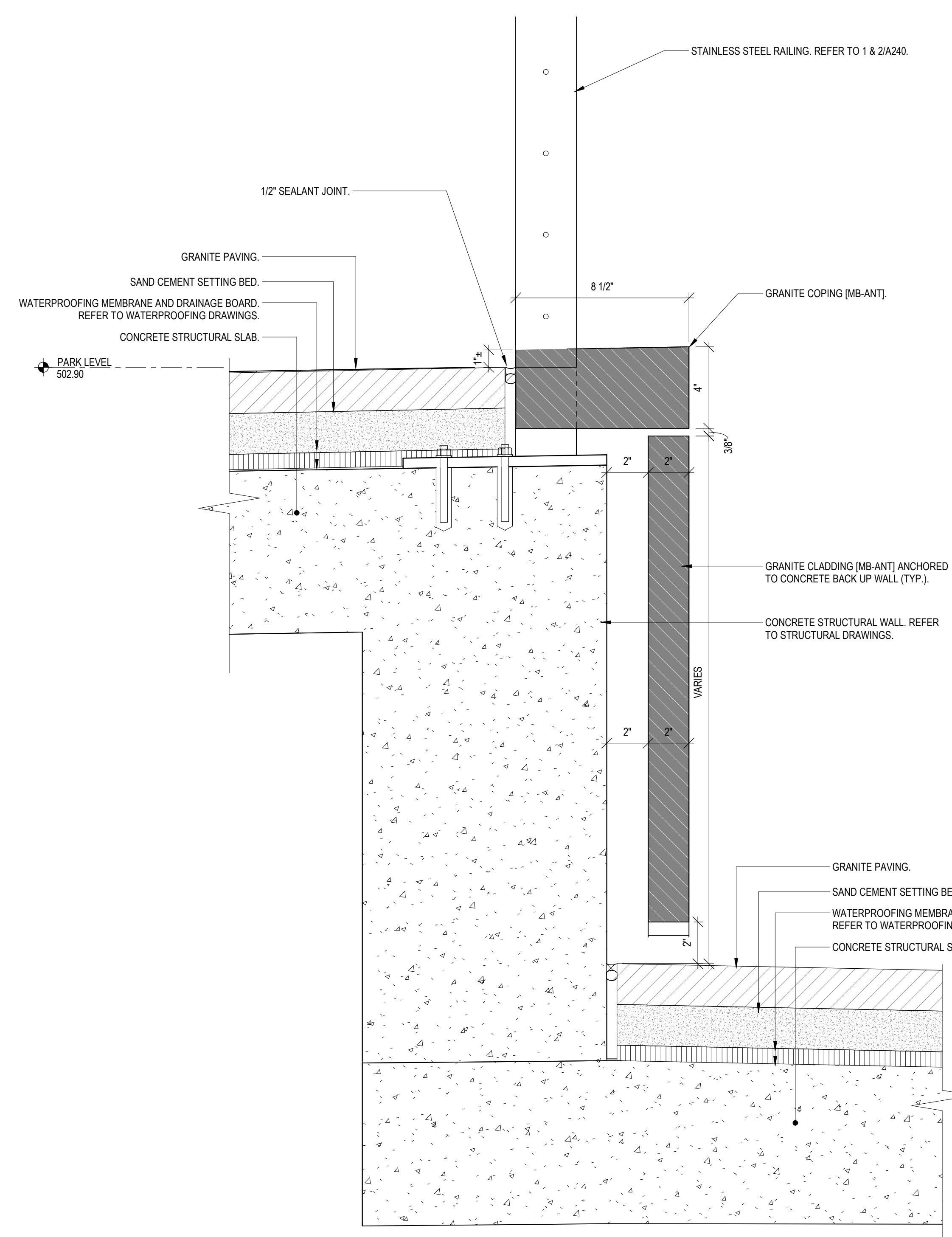
NOTE: SIGN GRAPHICS TO COMPLY WITH THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION, PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION. MOUNT SIGNS ON CONCRETE WALL OR 1-1/2" DIAMETER GALVANIZED PIPE BOLTED TO SLAB.



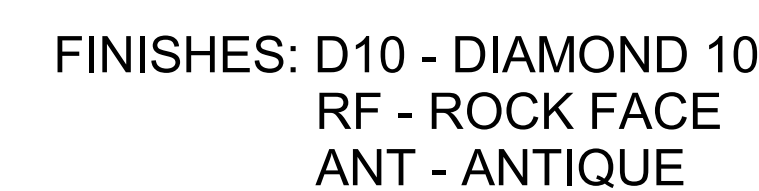


4
A230

GRANITE PAVERS ON SLAB ON GRADE
DETAIL
3" = 1'-0"



503' PLAZA SOUTH WALL
SECTION
3" = 1'-0"



MEHRING WAY SEAT
SECTION
1 1/2" = 1'-0"

	ISSUES/REVISIONS	ISSUES/REVISIONS (CONTINUED)
1	12/17/2021	BP#2 - PARK & GARAGE
2	01/13/2022	BP#2 - ADDENDUM #2

LOT D (25)

LOT 24

LOT 27

LOT 23

LOT 28

PROJECT ARCHITECT J.M.H.
PROJECT MANAGER M.S.M.
PRINCIPAL J.M.J.
CHECKED BY M.S.M.

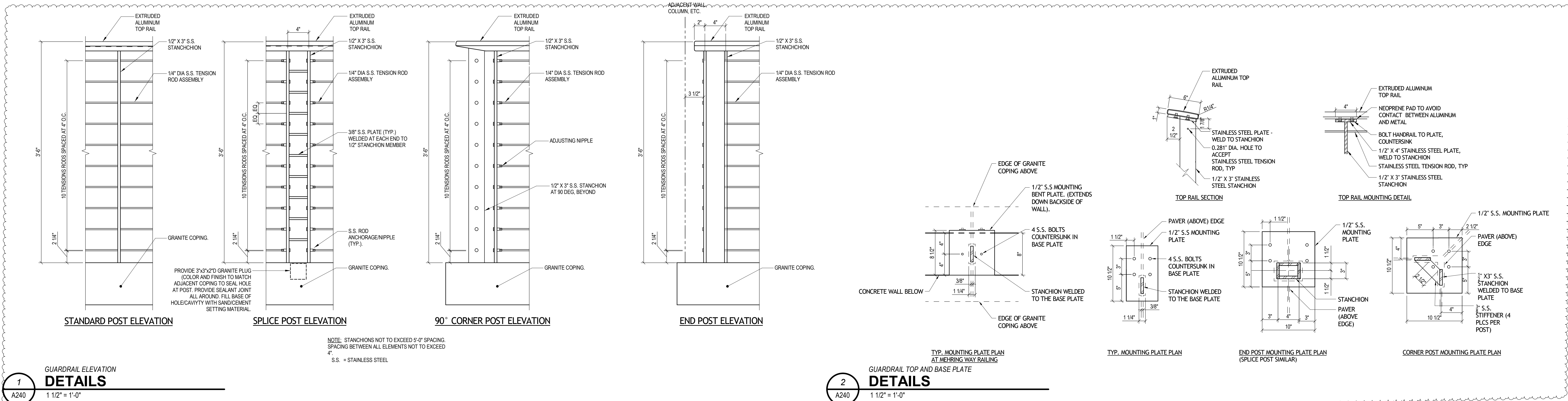


DRAWING TITLE

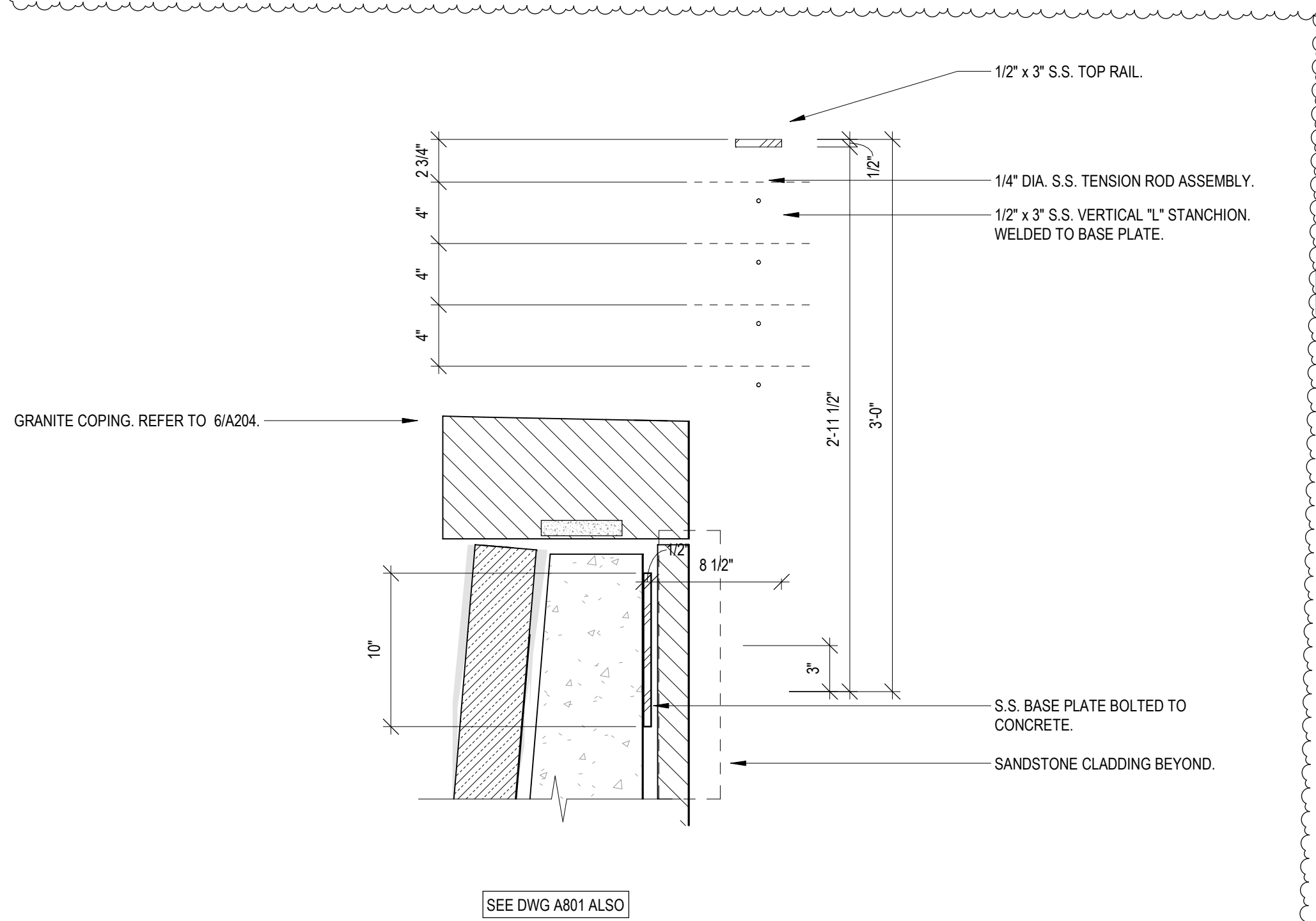
PARK DETAILS

JOB NUMBER	DATE
THP 98090.40	12/17/2021
DRAWING NUMBER	

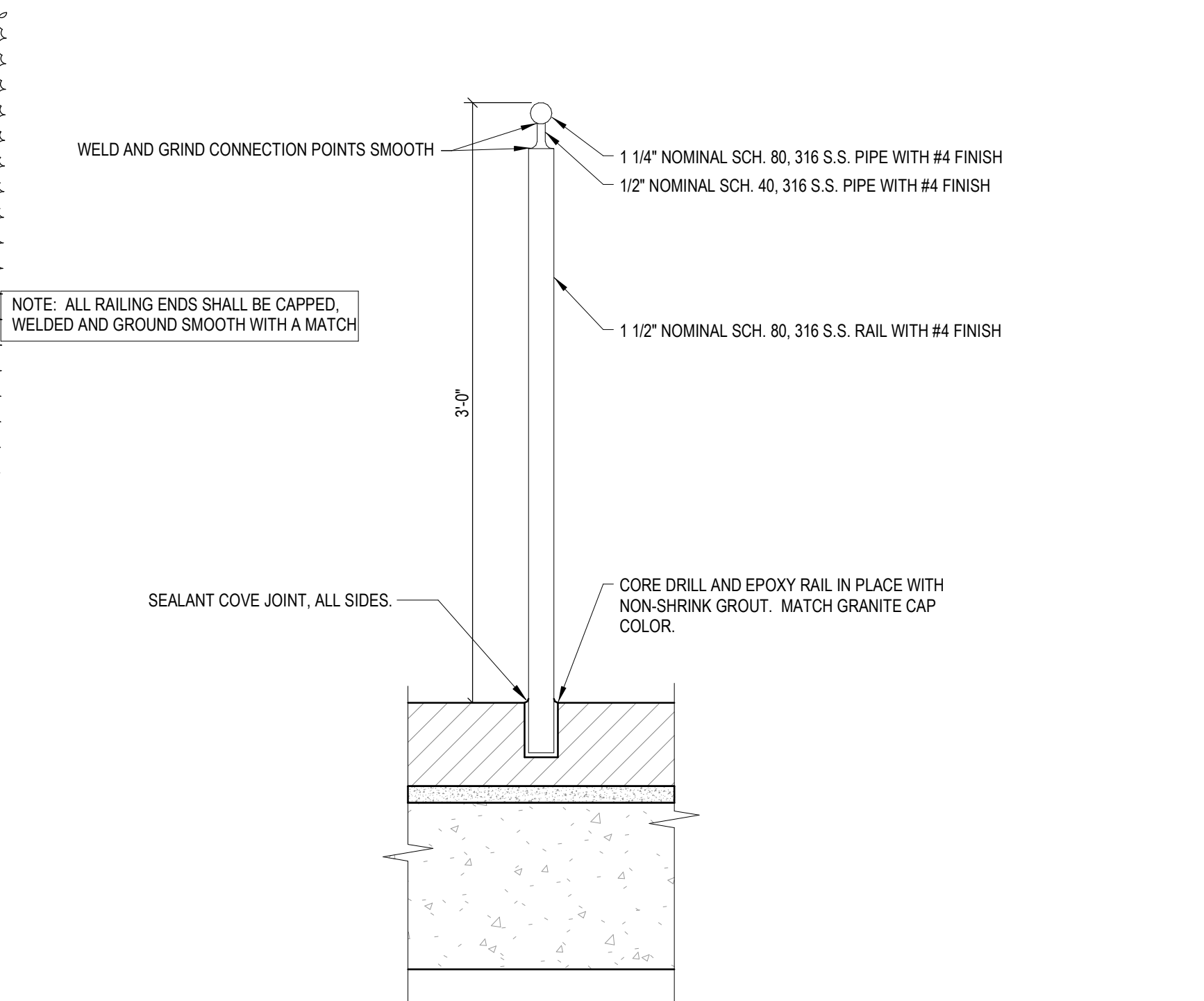
A230



1
A240
1 1/2" = 1'-0"



3
A240
1 1/2" = 1'-0"



4
A240
1 1/2" = 1'-0"

2
A240
1 1/2" = 1'-0"



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS

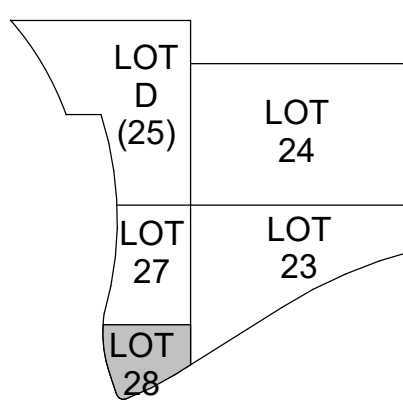


THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202

513.241.3222
THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.

ISSUE/REVISIONS	ISSUE/REVISIONS (CONTINUED)
1	12/17/2021 BP#2 - PARK & GARAGE
2	01/13/2022 BP#2 - ADDENDUM #2



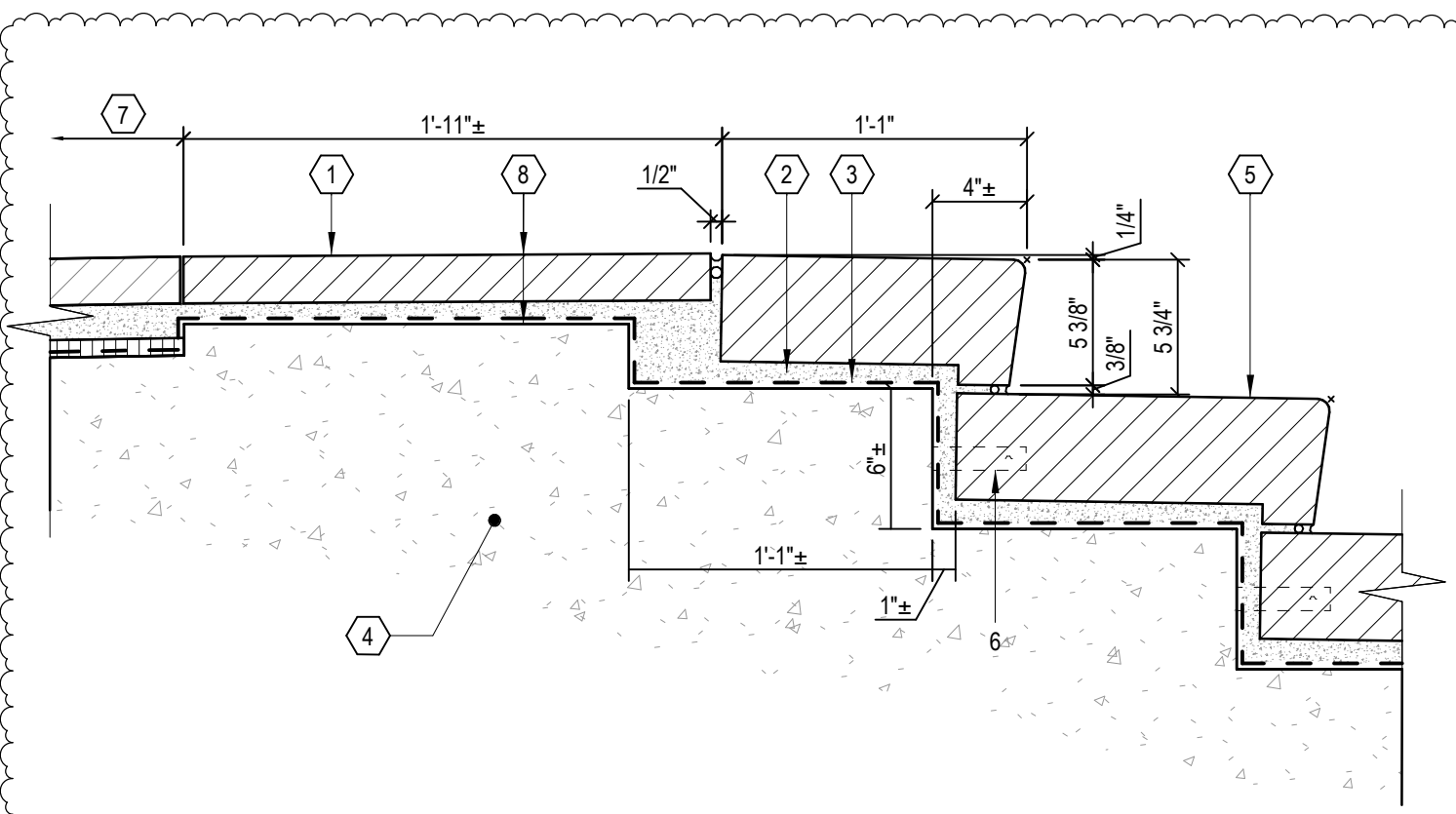
PROJECT ARCHITECT
J.M.H.
PROJECT MANAGER
M.S.M.
PRINCIPAL
J.M.J.
CHECKED BY
M.S.M.



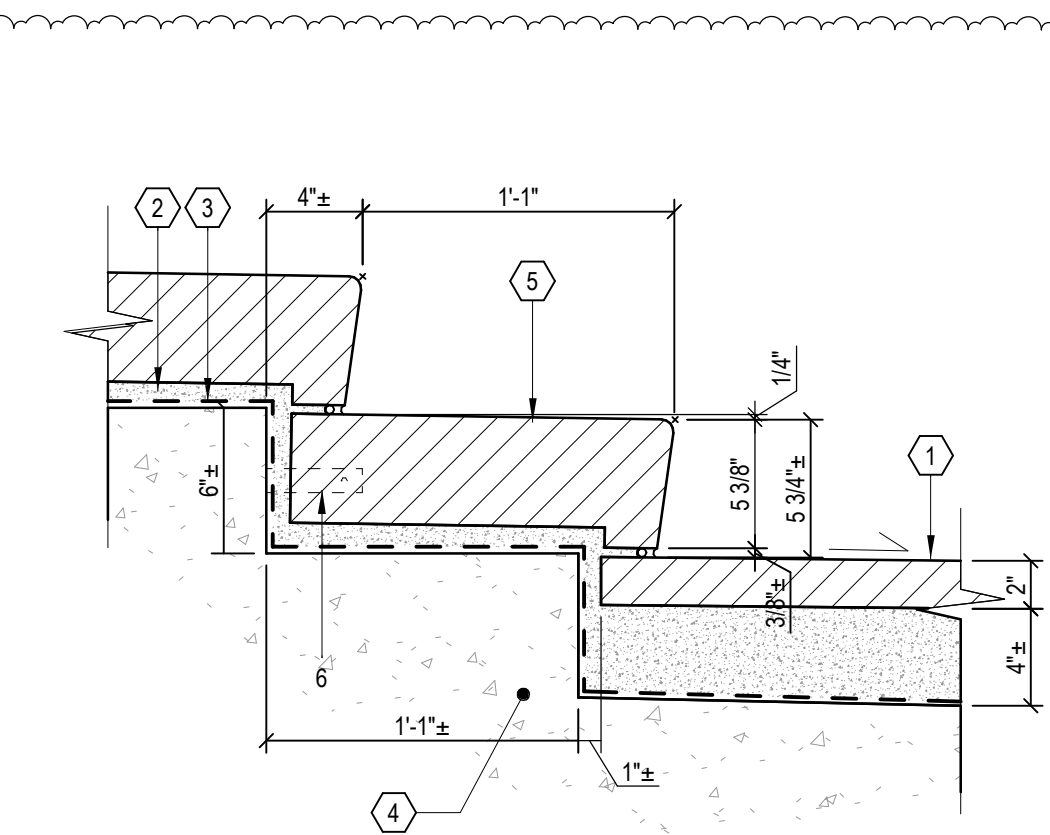
DRAWING TITLE
RAILING DETAILS

JOB NUMBER
THP 98090.40
DATE
12/17/2021
DRAWING NUMBER

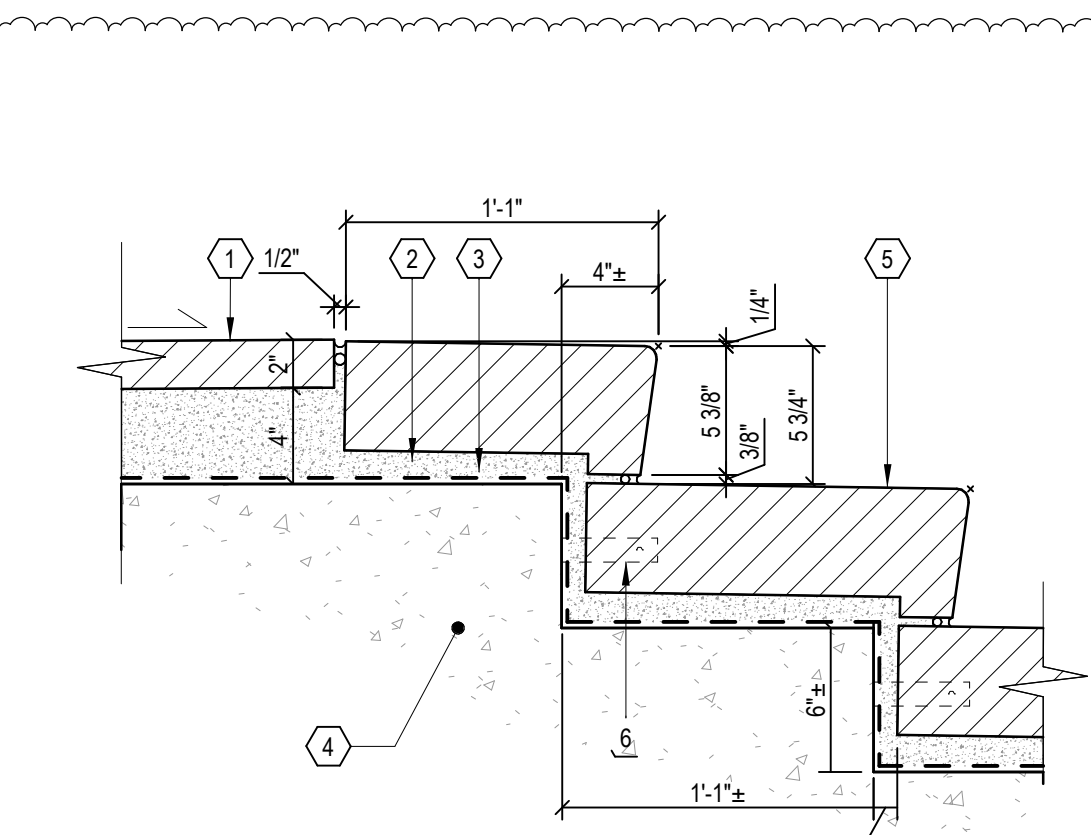
A240



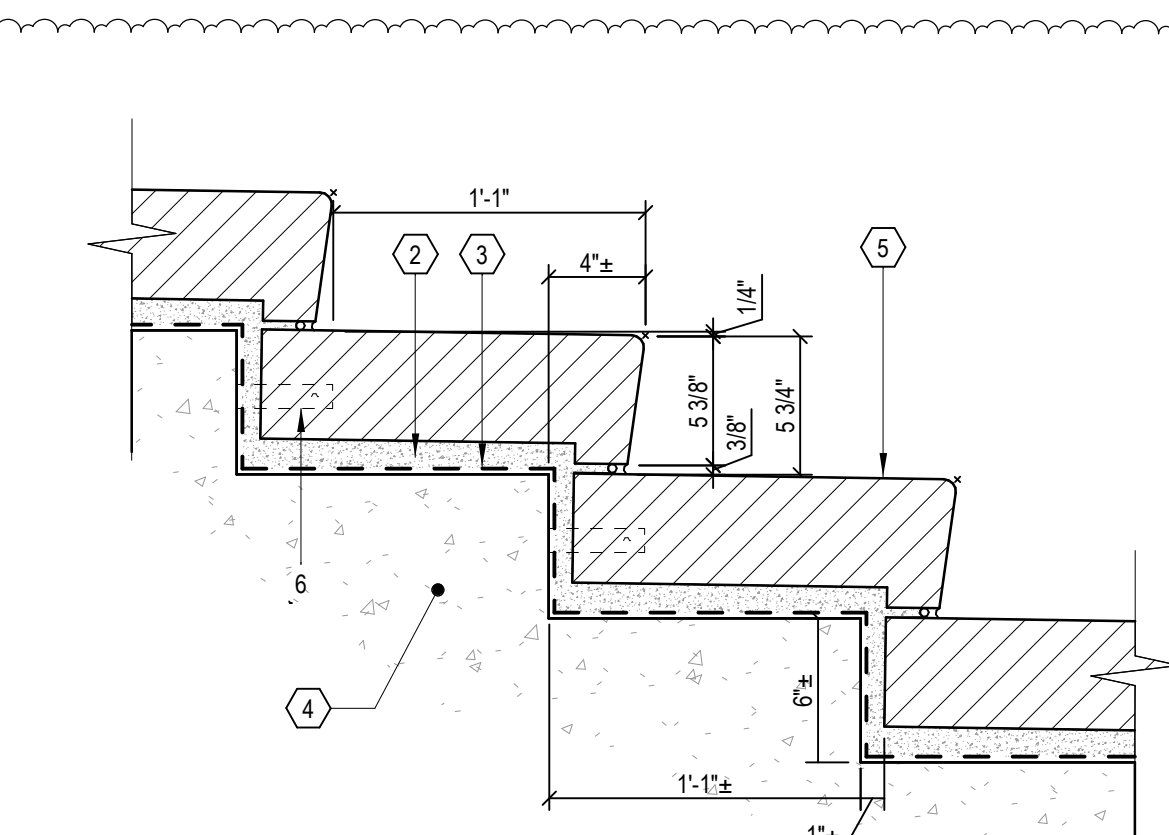
1
A250
TOP OF ELM STREET STAIR
DETAIL
1 1/2" = 1'-0"



2
A250
TOP OF ELM STREET STAIR LANDING
DETAIL
1 1/2" = 1'-0"

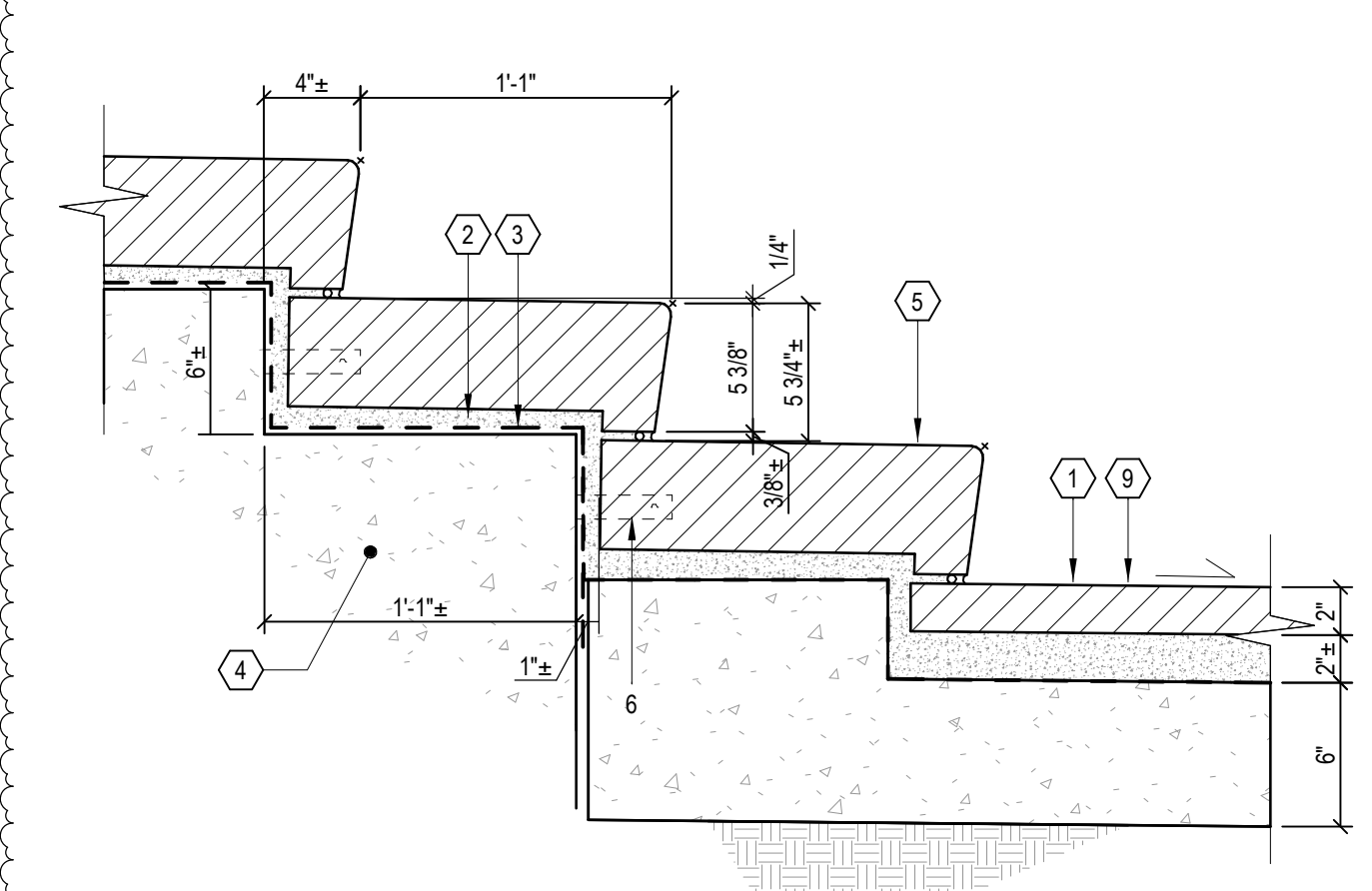


3
A250
BOTTOM OF ELM STREET STAIR LANDING
DETAIL
1 1/2" = 1'-0"



4
A250
ELM STREET STAIR TREAD
DETAIL
1 1/2" = 1'-0"

- DRAWING NOTES:**
1. GRANITE PAVING (PB-D10)
 2. LATEX MODIFIED MORTAR SETTING BED
 3. WATERPROOFING MEMBRANE AND PROTECTION SHEET
 4. EXISTING CONCRETE STAIR STRUCTURE
 5. GRANITE TREAD (PB-D10)
 6. 1" STAINLESS STEEL STRAP WITH 5/16" DIA. HOLES PUNCHED TO ALLOW 1/4" DIA. DOWEL TO BE INSTALLED HORIZONTAL BETWEEN TREADS
 7. EXISTING PAVER SYSTEM (TO REMAIN)
 8. REMOVE 3" OF EXISTING CONCRETE TOP STEP TO ALLOW INSTALLATION OF PAVERS, SETTING BED, AND WATERPROOFING
 9. AT BASE OF STAIR, TOP OF NEW PAVER SYSTEM TO MATCH ELEVATIONS OF EXISTING CONCRETE PAVEMENT SYSTEM

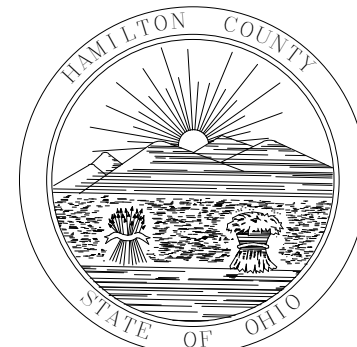


5
A250
BOTTOM OF ELM STREET STAIR
DETAIL
1 1/2" = 1'-0"

GRANITE COLOR & FINISH LEGEND

COLORS: PB - PRAIRIE BROWN
MB - MESABI BLACK

FINISHES: D10 - DIAMOND 10
RF - ROCK FACE
ANT - ANTIQUE



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS



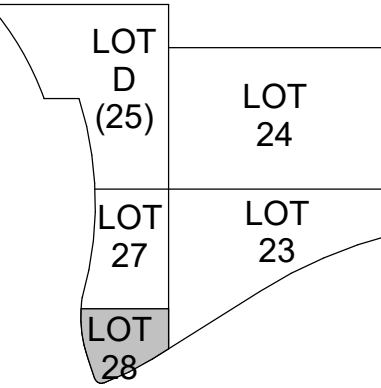
THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202

513.241.3222
THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.

ISSUE/REVISIONS: (ISSUE/REVISIONS CONTINUED)

1	12/17/2021	BP2 - PARK & GARAGE
2	01/13/2022	BP2 - ADDENDUM #2



PROJECT ARCHITECT
J.M.H.
PROJECT MANAGER
M.S.M.
PRINCIPAL
J.M.J.
CHECKED BY
M.S.M.

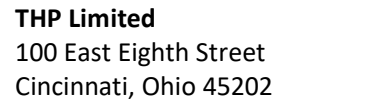
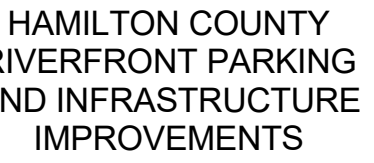


DRAWING TITLE

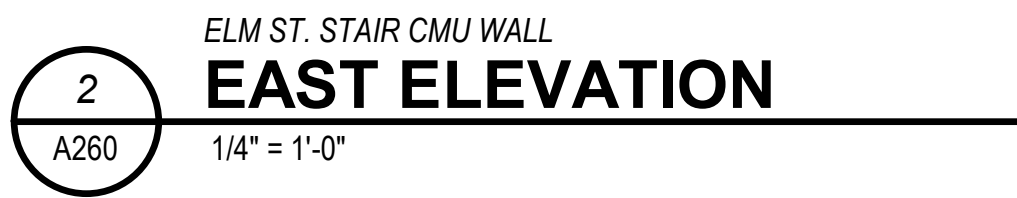
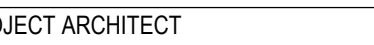
ELM STREET STAIR DETAILS

JOB NUMBER
THP 98090.40
DRAWING NUMBER
A250

DATE
12/17/2021



This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.

[illegible]

PRINCIPAL



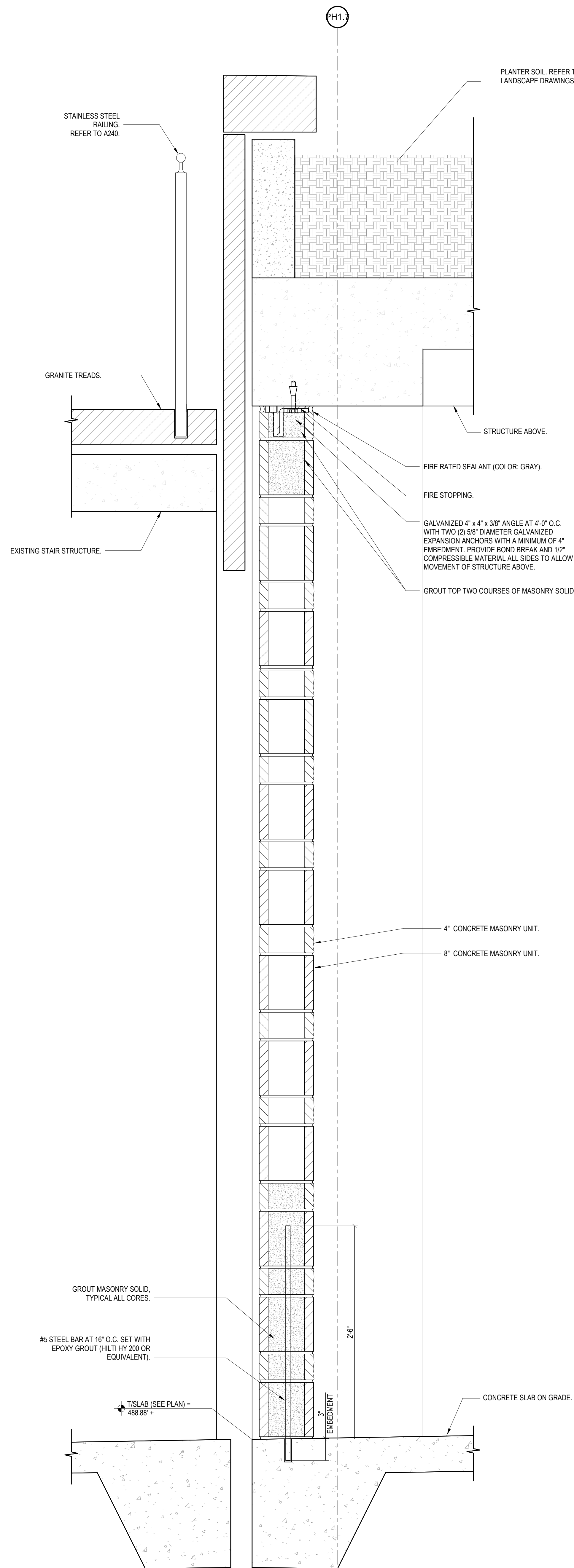
THE BANKS
Public Partnership

MU ELEVATIONS & DETAILS

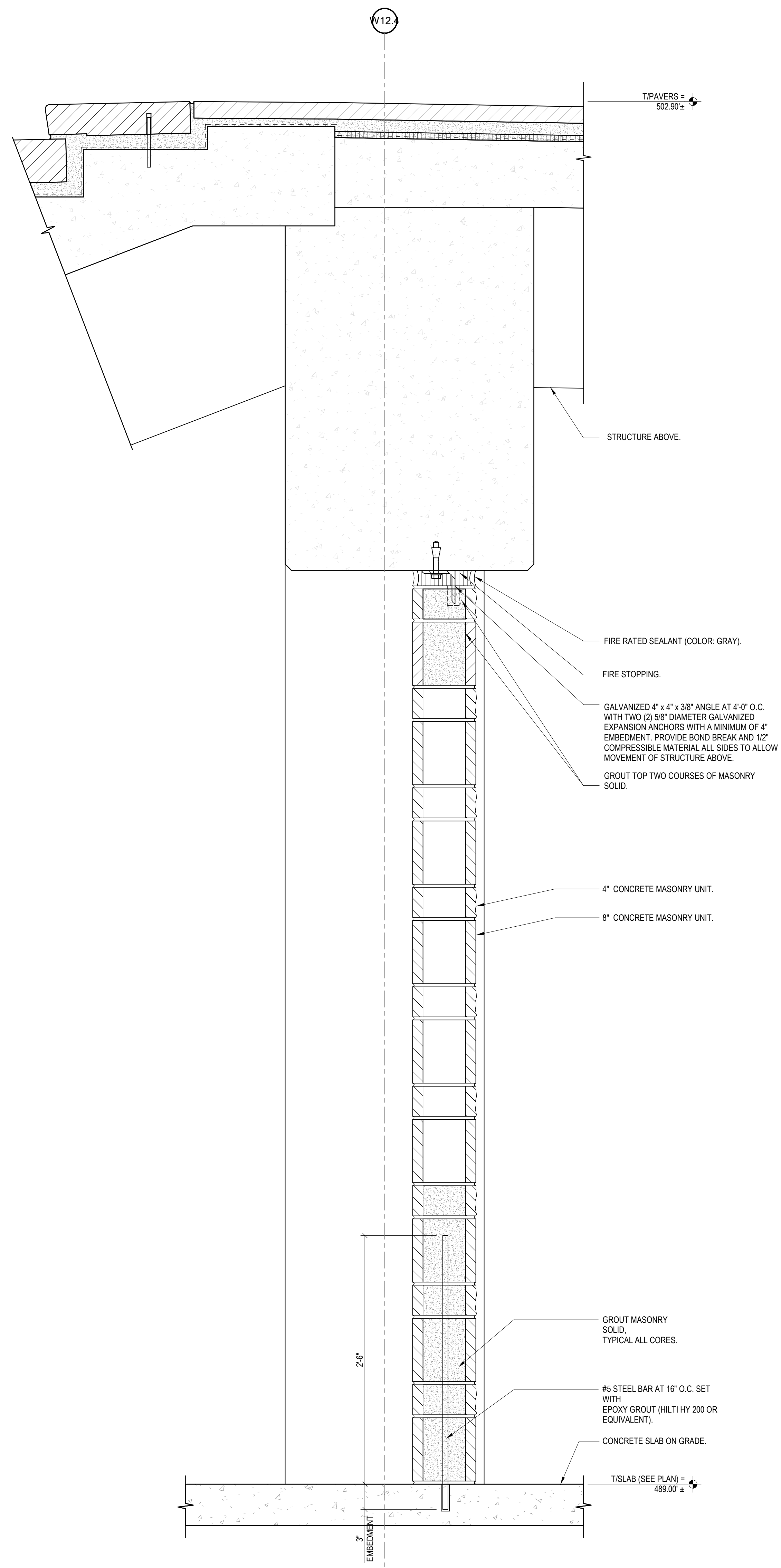
NUMBER	DATE
--------	------

P 98090.40	12/17/2021
RUNNING NUMBER	

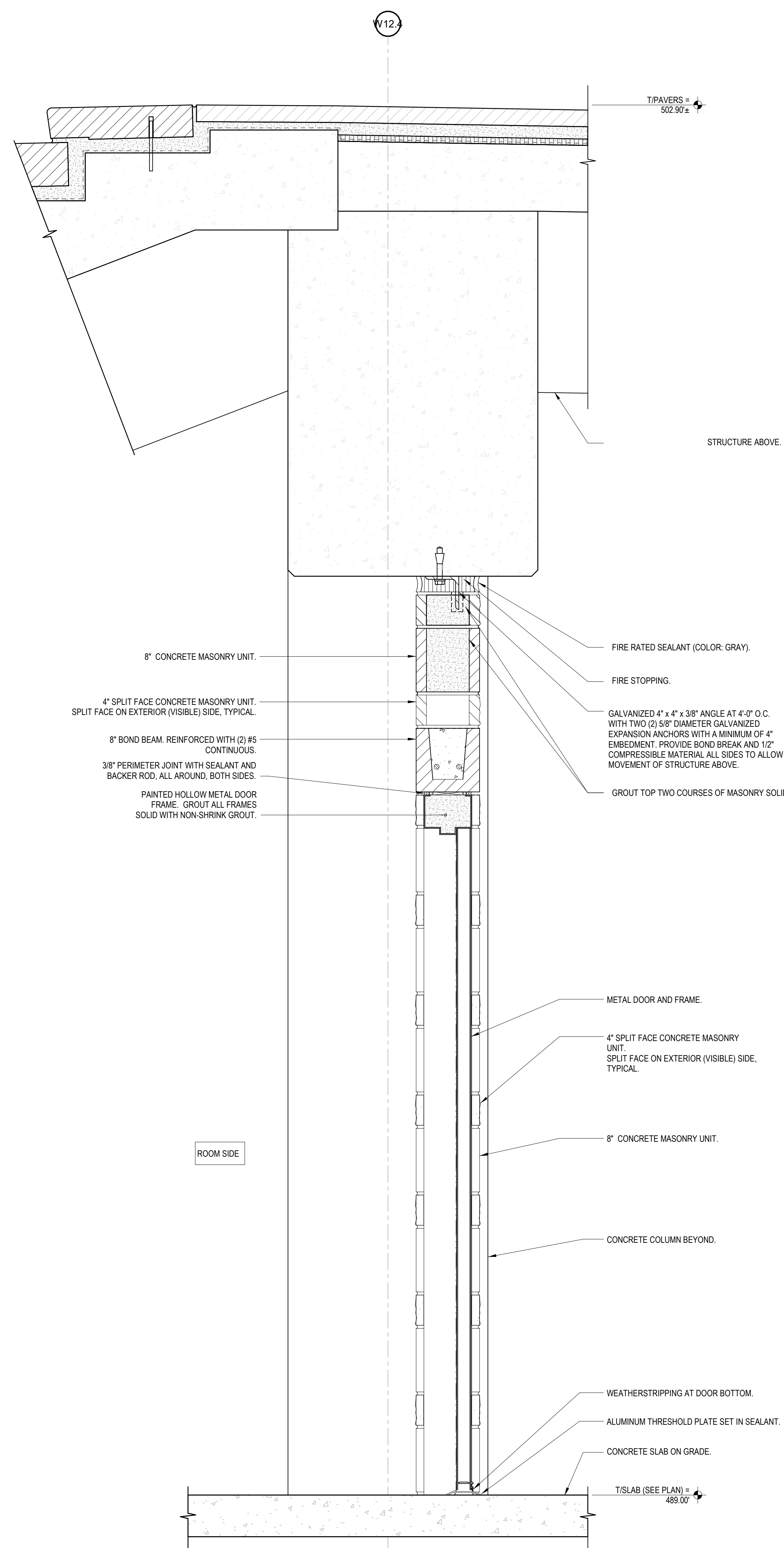
A260



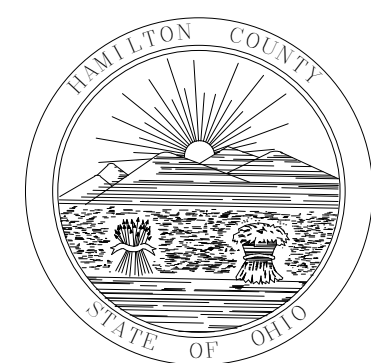
1 WALL SECTION
1 1/2" = 1'-0"



2 WALL SECTION
1 1/2" = 1'-0"



3 WALL SECTION
1 1/2" = 1'-0"



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS



THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202

513.241.3222
THPLTD.com

This document is the product and property
of THP Limited. Neither the document nor
the information it contains may be copied
or reused for other than the specific
project for which it was prepared without
the written consent of THP Limited.

ISSUE/REVISIONS (ISSUE/REVISIONS CONTINUED)

NO.	DATE	DESCRIPTION
1	07/13/2022	BPZ_ADDENDUM #2

LOT D (25)	LOT 24
LOT 27	LOT 23
LOT 28	

PROJECT ARCHITECT
PROJECT MANAGER
PRINCIPAL

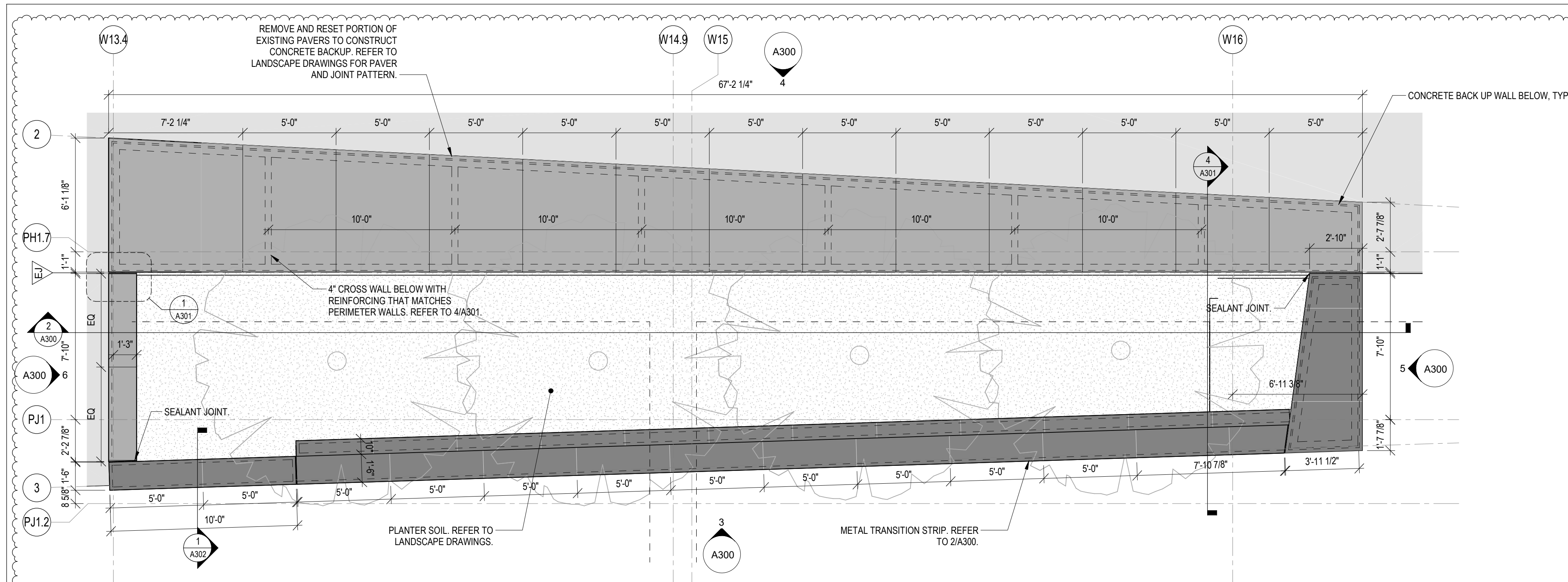
CHECKED BY
Checker



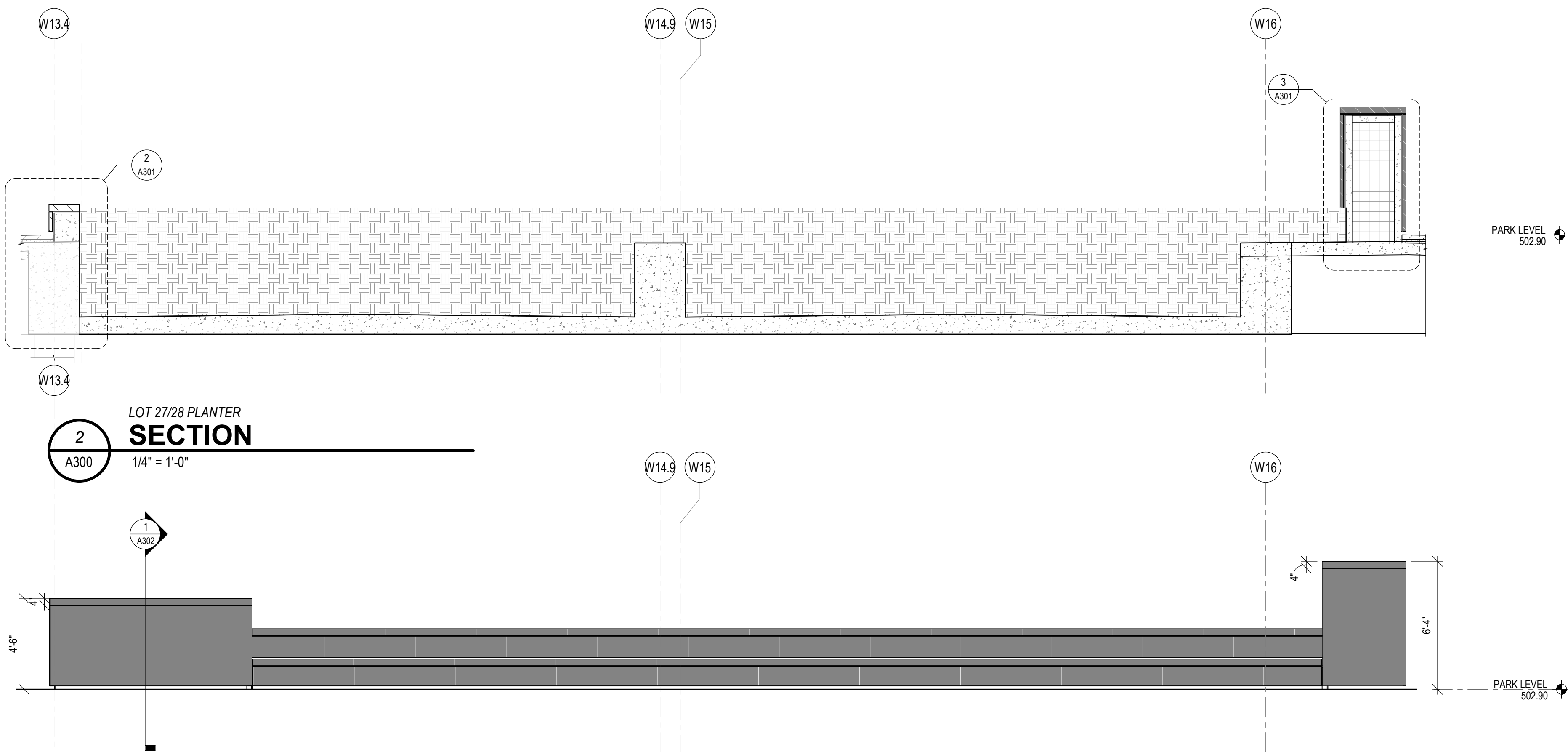
DRAWING TITLE
CMU WALL SECTIONS

JOB NUMBER
THP 98090.40
DRAWING NUMBER
A261

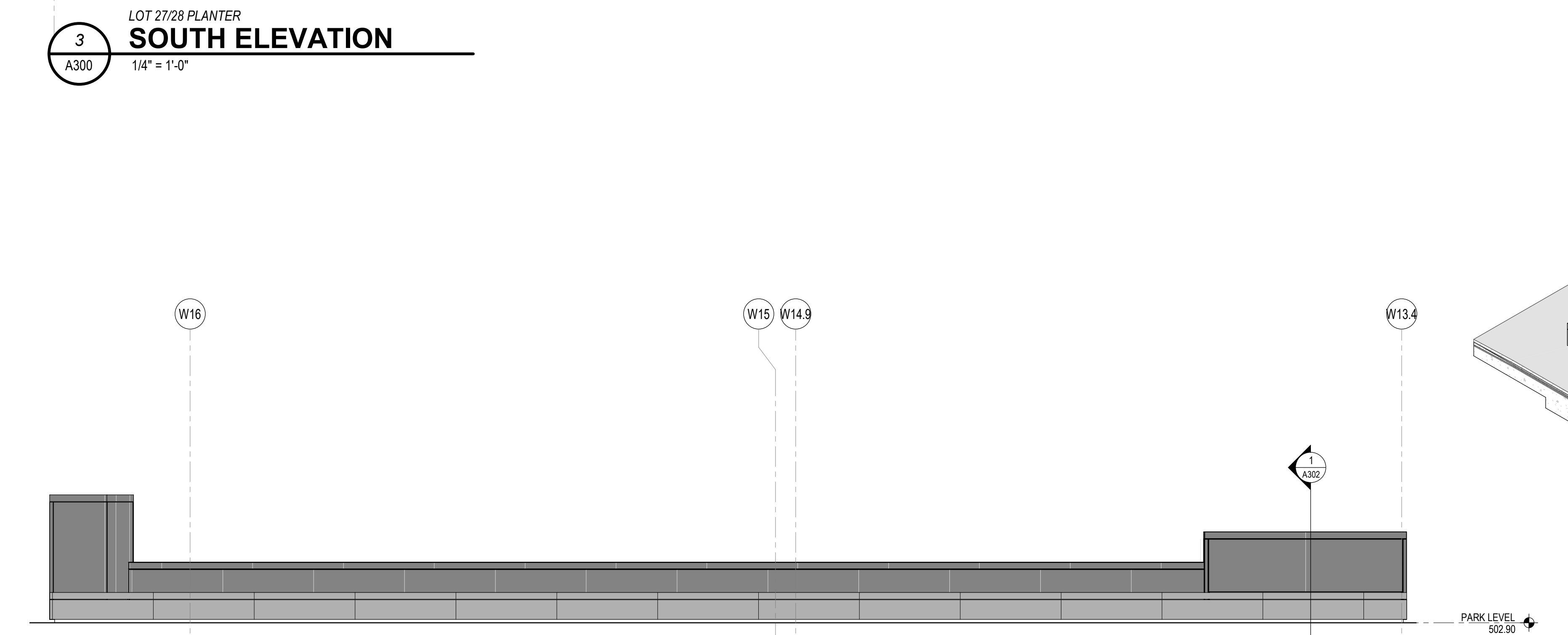
DATE
12/17/2021



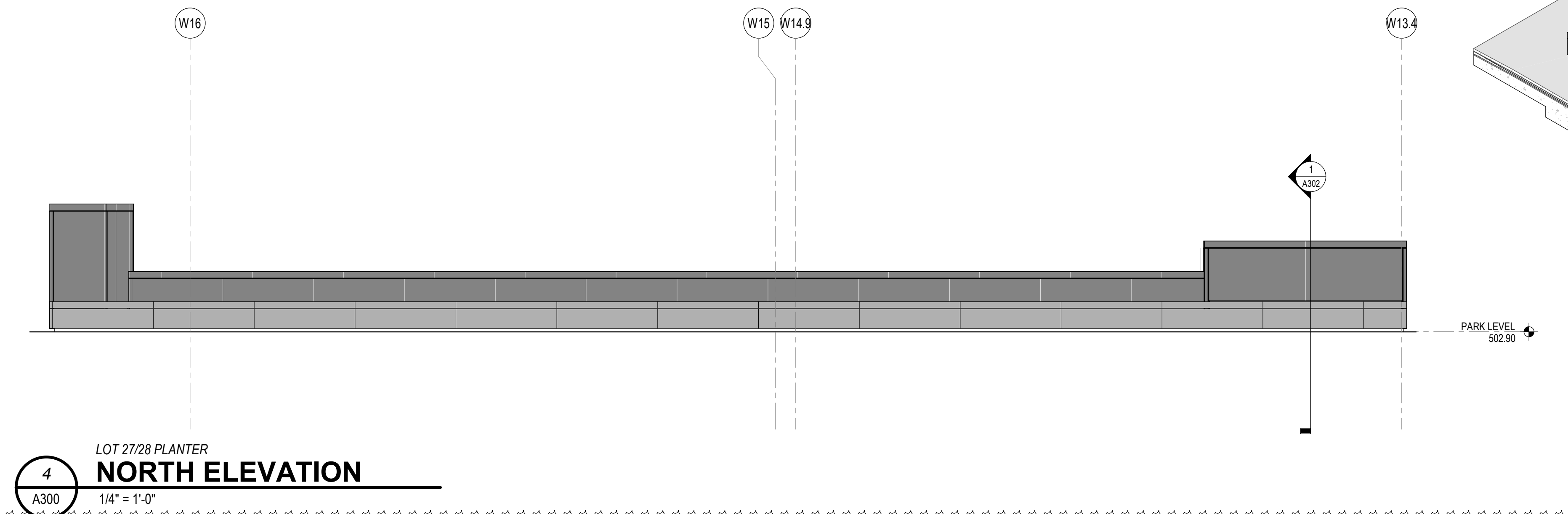
LOT 27/28 PLANTER
1 ENLARGED PLAN
1/4" = 1'-0"
NORTH



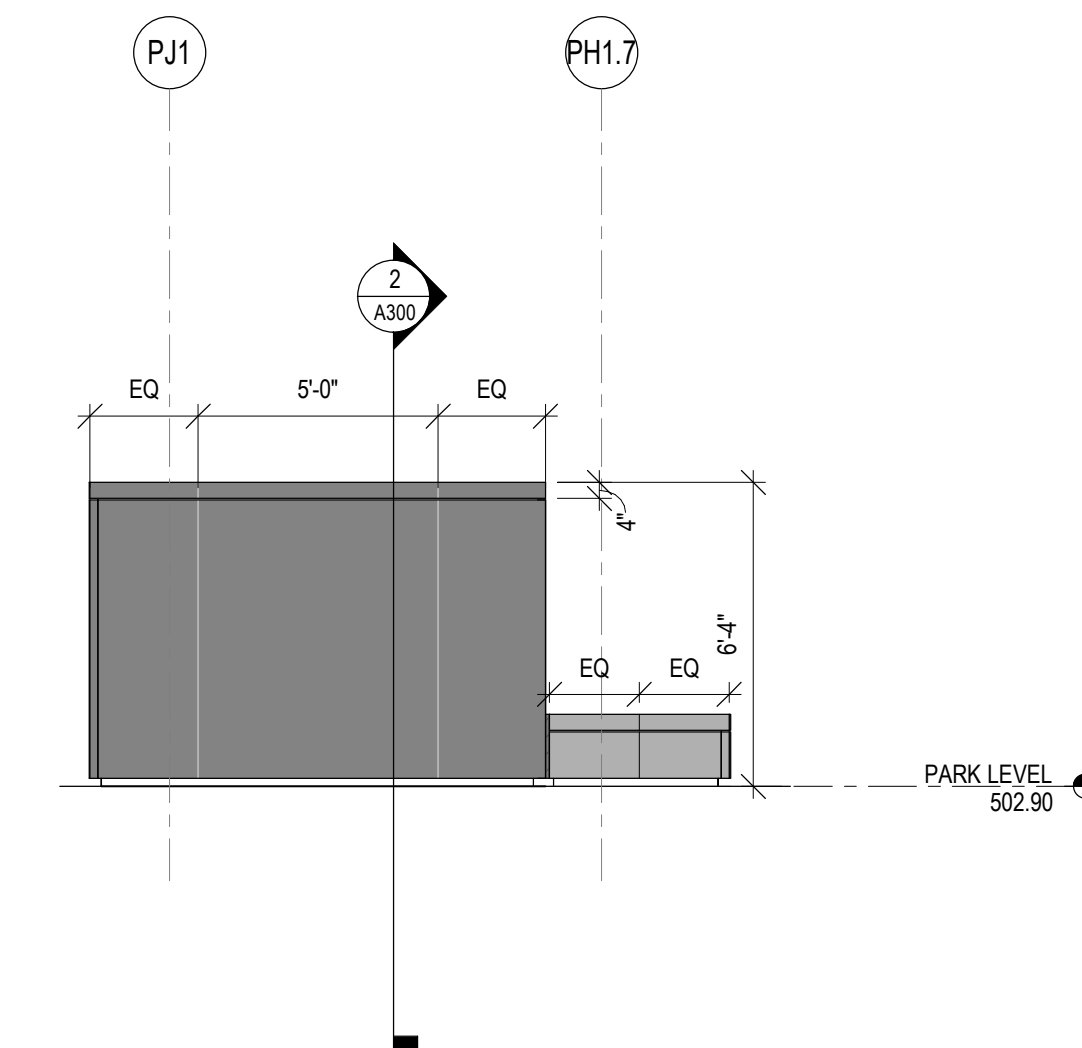
LOT 27/28 PLANTER
2 SECTION
1/4" = 1'-0"



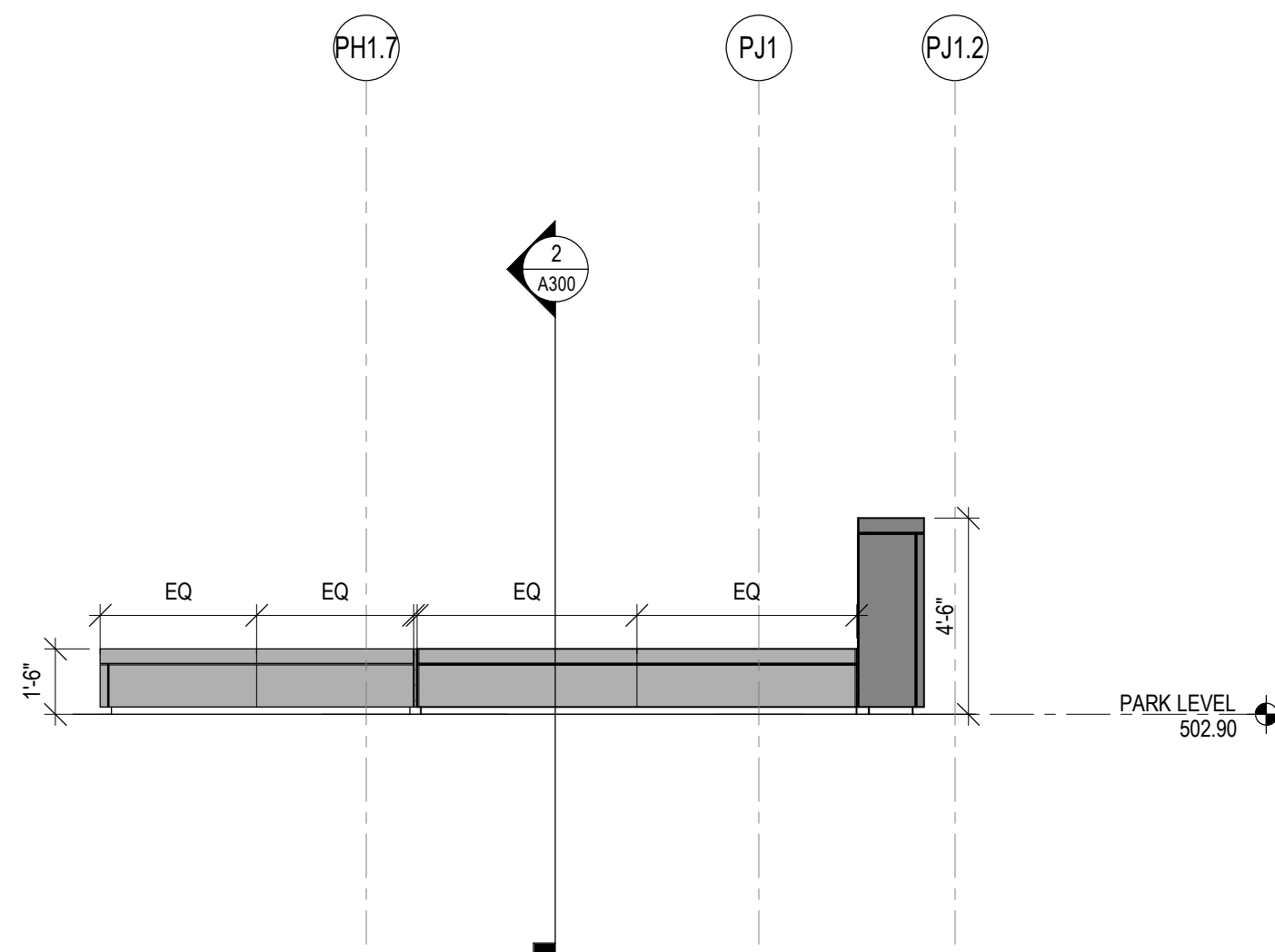
LOT 27/28 PLANTER
3 SOUTH ELEVATION
1/4" = 1'-0"



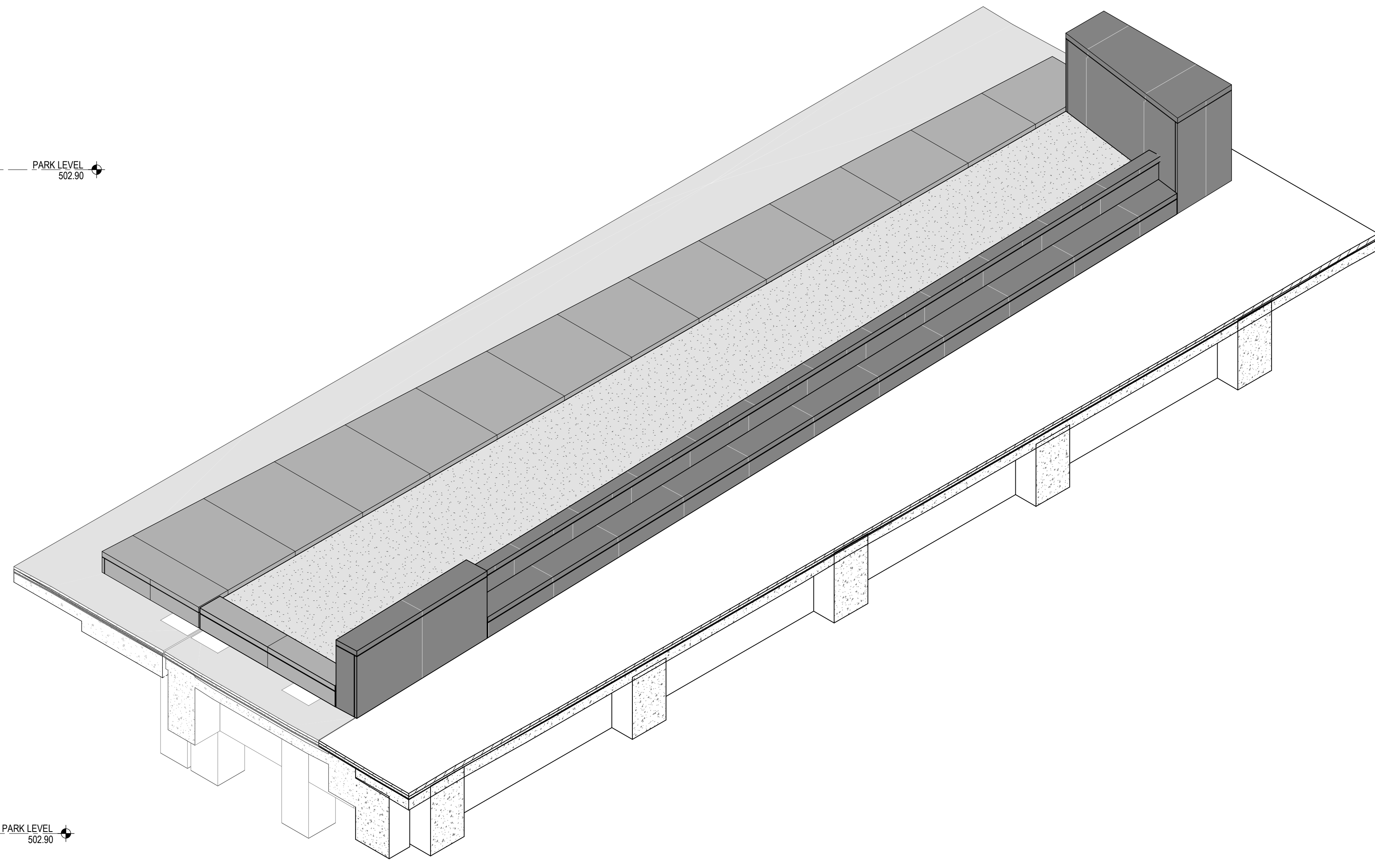
LOT 27/28 PLANTER
4 NORTH ELEVATION
1/4" = 1'-0"




LOT 27/28 PLANTER
5 EAST ELEVATION
1/4" = 1'-0"




LOT 27/28 PLANTER
6 WEST ELEVATION
1/4" = 1'-0"



LOT 27/28 PLANTER
7 AXONOMETRIC VIEW
1/4" = 1'-0"



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS



THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202
513.241.3222
THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.

ISSUE/REVISIONS (ISSUE/REVISIONS CONTINUED)	
1	12/17/2021 BPZ, PARK & GARAGE
2	01/13/2022 BPZ, ADDENDUM #2

LOT D (25)

LOT 27

LOT 28

LOT 24


LOT 23

PROJECT ARCHITECT
J.M.H.

PROJECT MANAGER
M.S.M.

PRINCIPAL
J.M.J.

CHECKED BY
M.S.M.

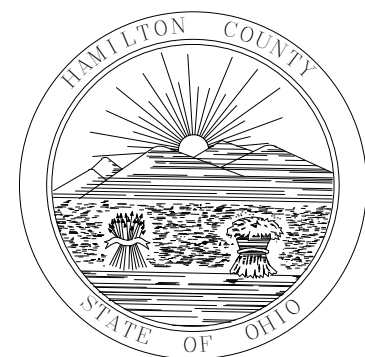


THE BANKS
Public Partnership

DRAWING TITLE
LOT 27/28 PLANTER PLAN & SECTIONS

JOB NUMBER THP 98090.40	DATE 12/17/2021
----------------------------	--------------------

DRAWING NUMBER
A300



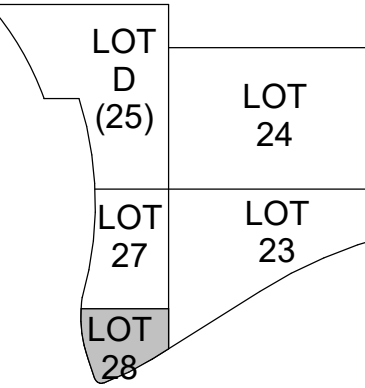
HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS



THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202
513.241.3222
THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.

ISSUE/REVISIONS (CONTINUED)									
1	12/17/2021	BPZ - PARK & GARAGE							
2	01/13/2022	BPZ - ADDENDUM #2							

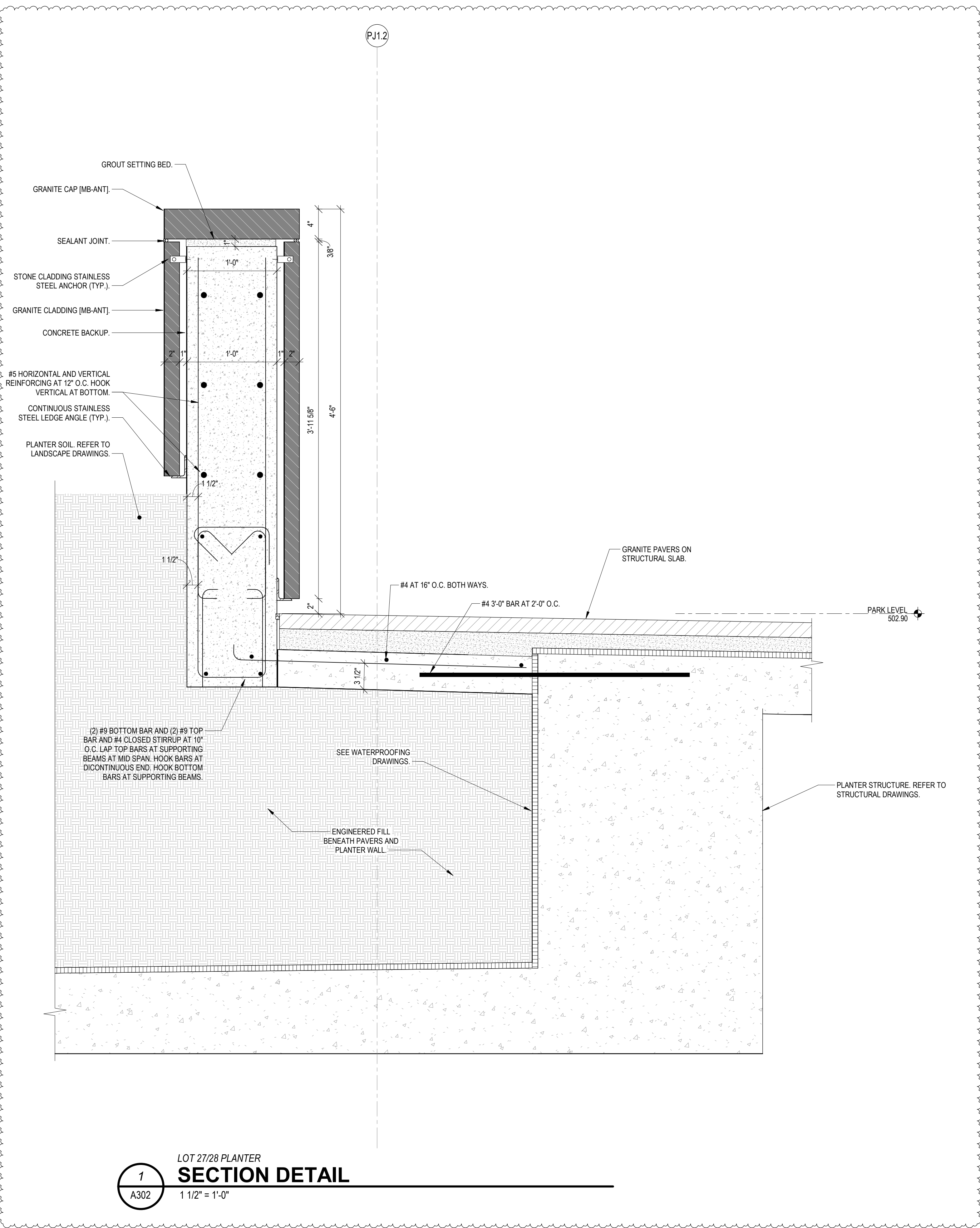


PROJECT ARCHITECT
J.M.H.
PROJECT MANAGER
M.S.M.
PRINCIPAL
J.M.J.
CHECKED BY
M.S.M.



DRAWING TITLE
LOT 27/28 PLANTER DETAILS
JOB NUMBER
THP 98090.40
DATE
12/17/2021
DRAWING NUMBER

A302

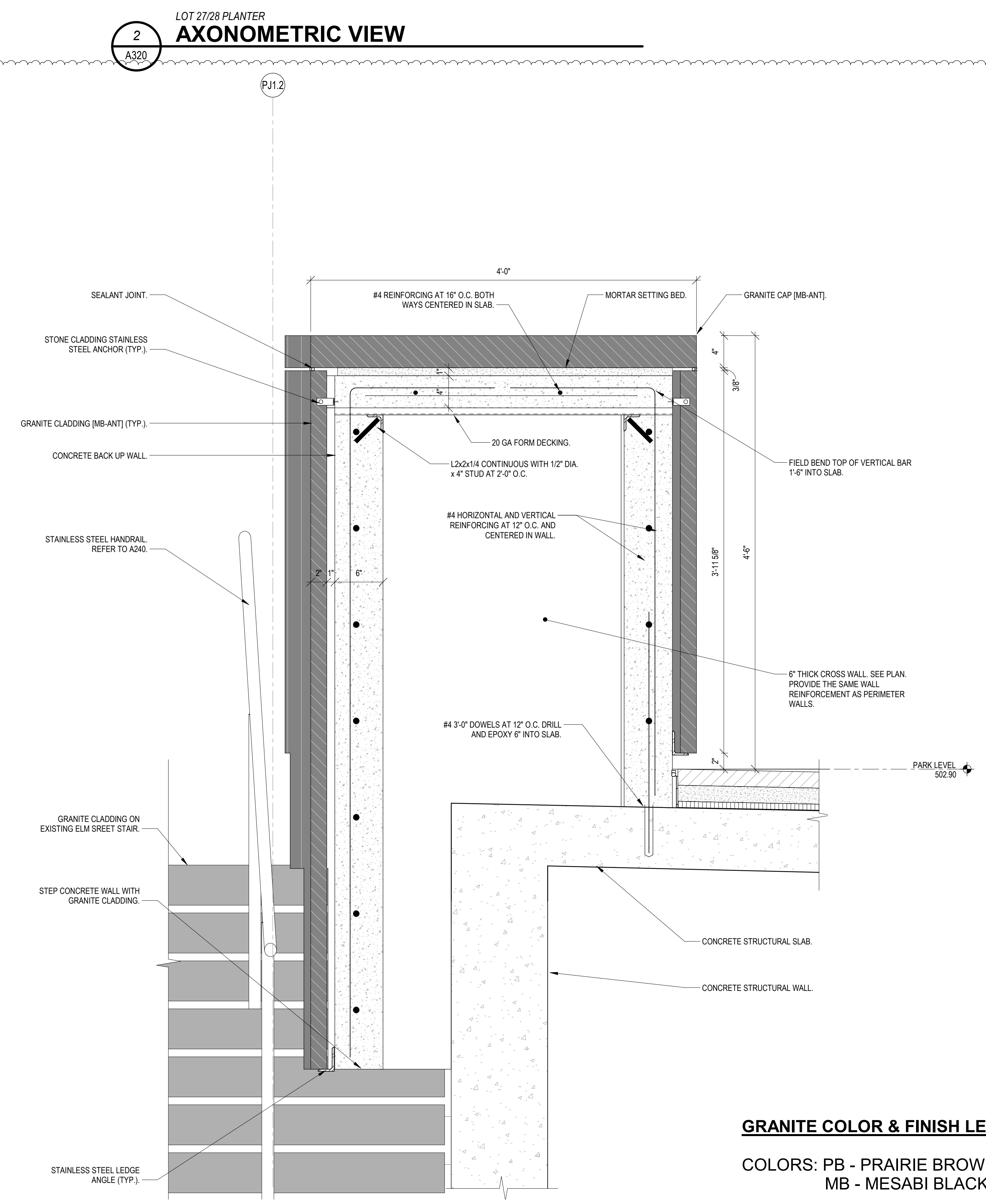
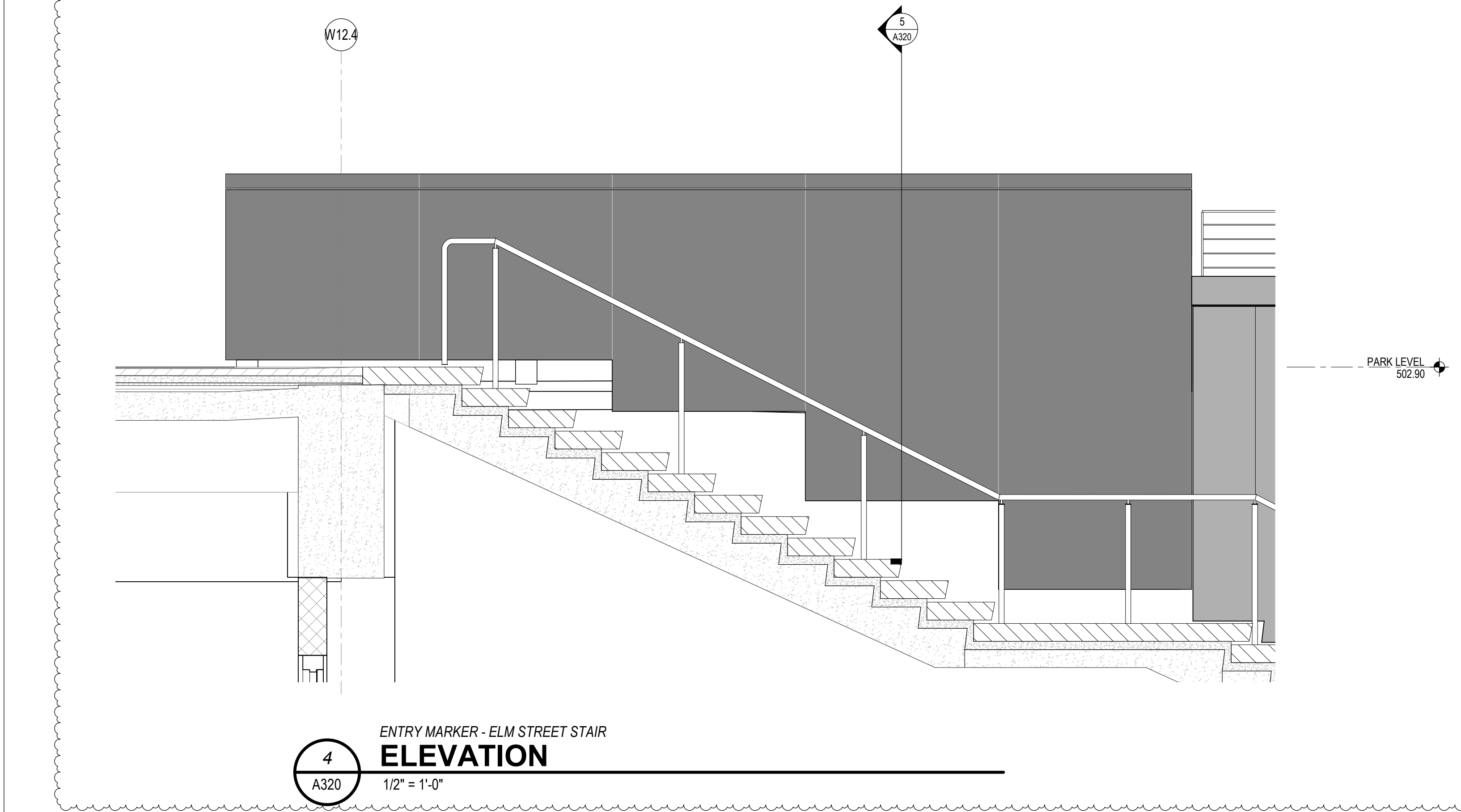
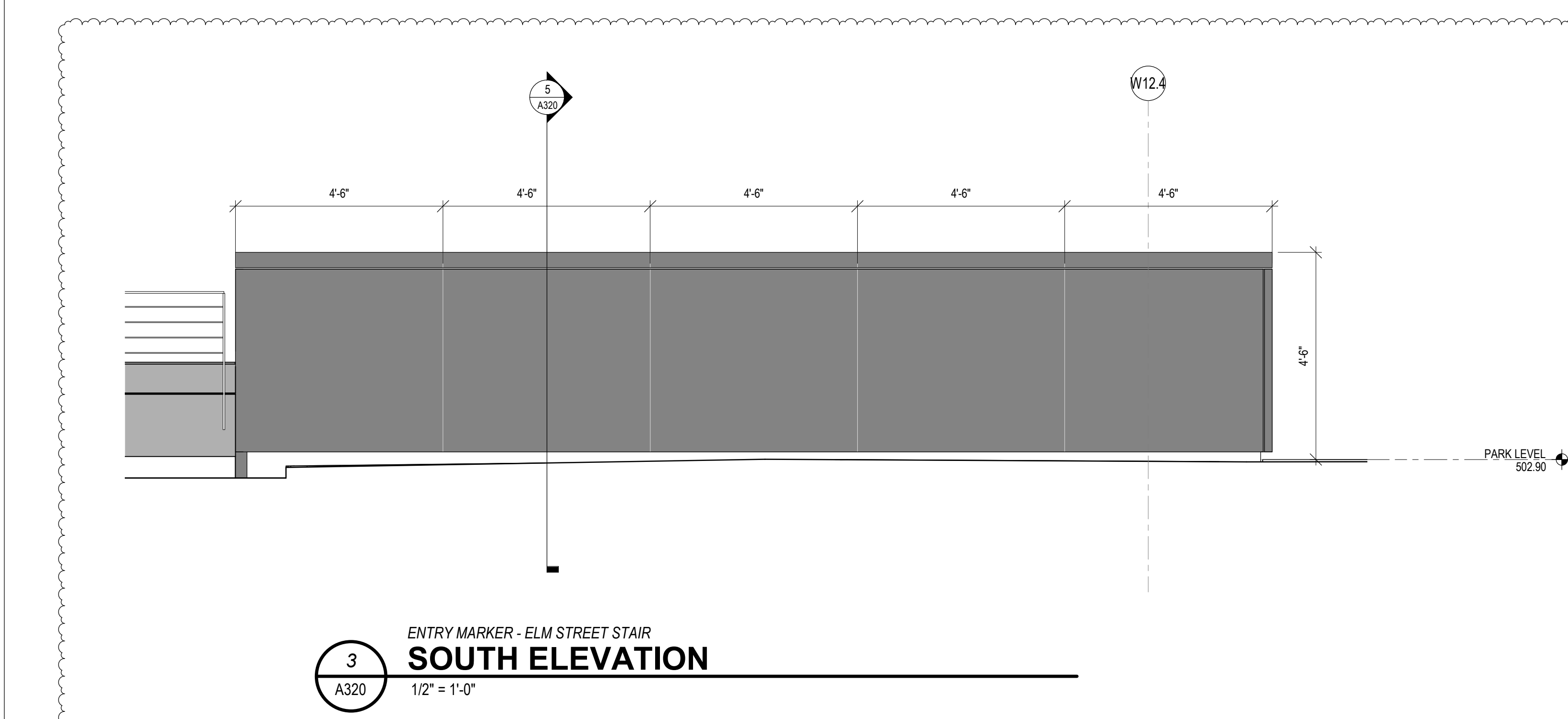
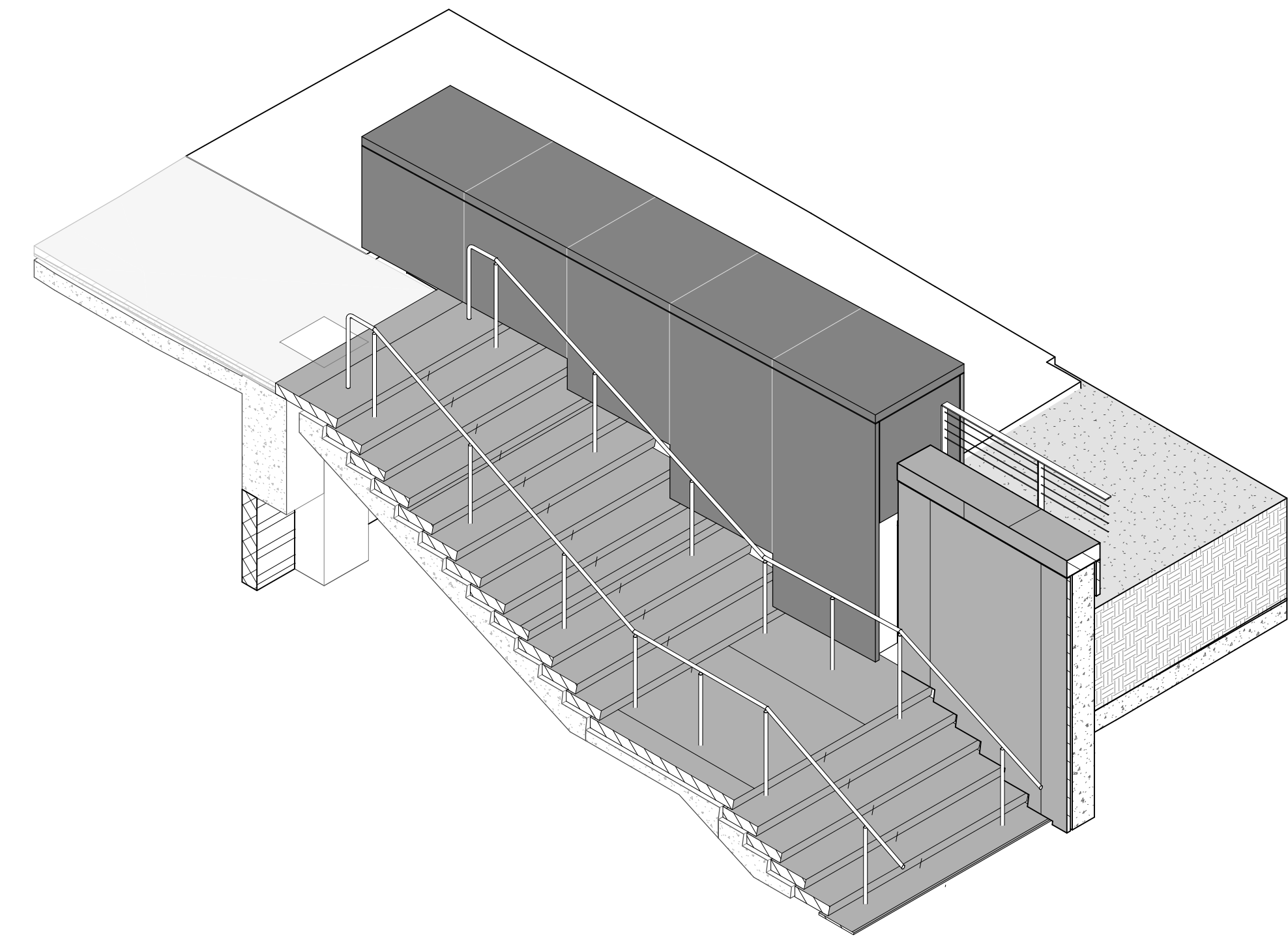
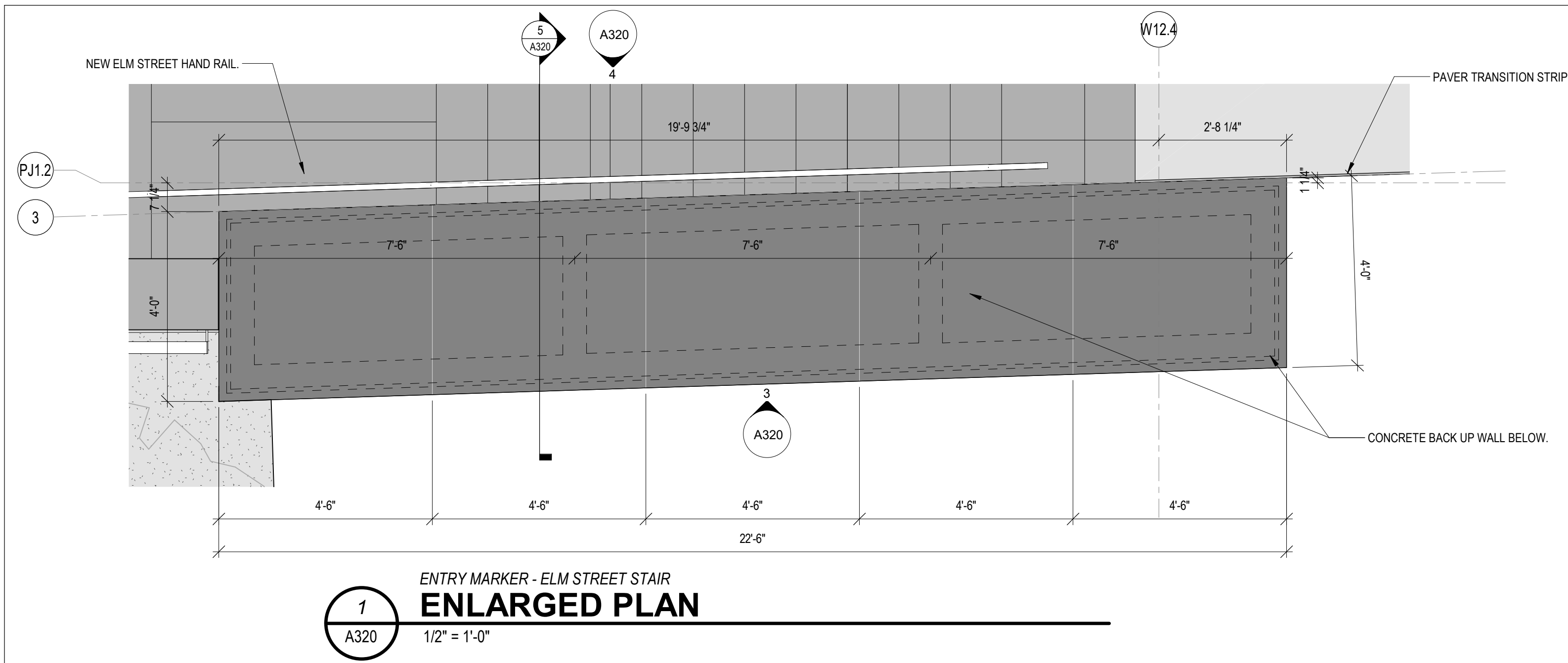


1
A302
LOT 27/28 PLANTER
SECTION DETAIL
1 1/2" = 1'-0"

GRANITE COLOR & FINISH LEGEND

COLORS: PB - PRAIRIE BROWN
MB - MESABI BLACK


FINISHES: D10 - DIAMOND 10
RF - ROCK FACE
ANT - ANTIQUE




GRANITE COLOR & FINISH LEGEND

COLORS: PB - PRAIRIE BROWN
MB - MESABI BLACK

FINISHES: D10 - DIAMOND 10
RF - ROCK FACE
ANT - ANTIQUE



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS



THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202

513.241.3222
THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.

1	12/17/2021	BP2 - PARK & GARAGE
2	01/13/2022	BP2 - ADDENDUM #2


LOT D (25)	LOT 24
LOT 27	LOT 23
LOT 28	

PROJECT ARCHITECT
J.M.H.

PROJECT MANAGER
M.S.M.

PRINCIPAL
J.M.J.

CHECKED BY
M.S.M.



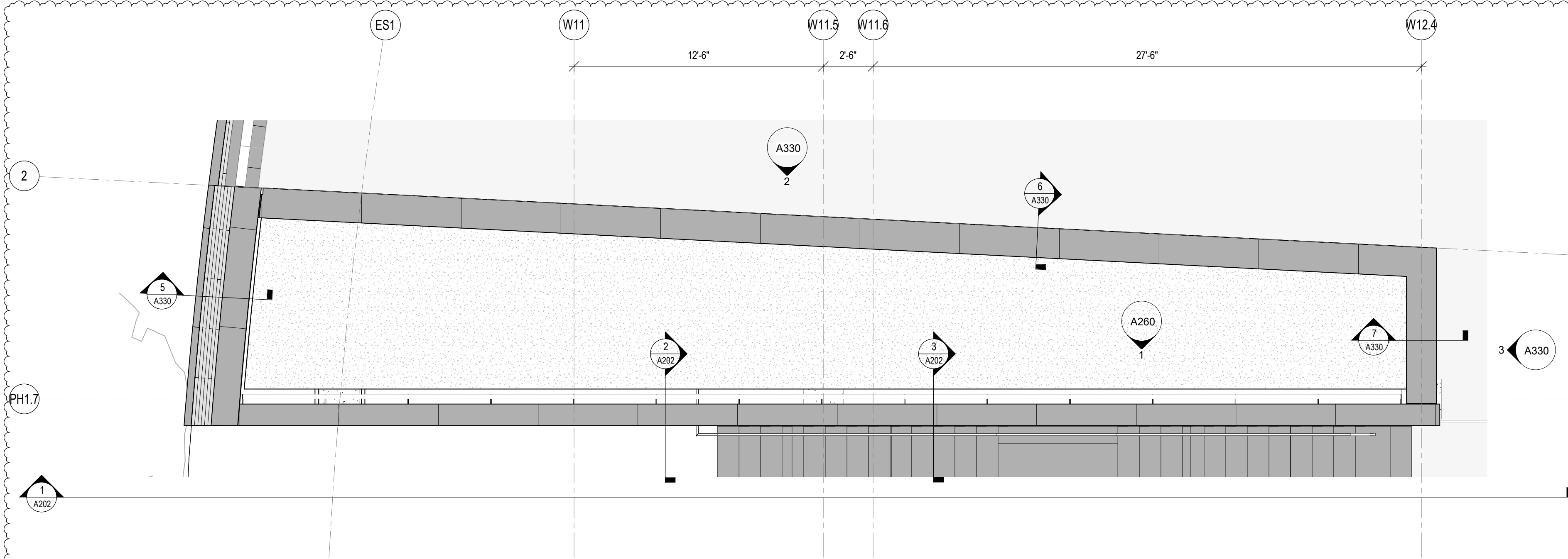
THE BANKS
Public Partnership

DRAWING TITLE
ELM STREET STAIR ENTRY MARKER

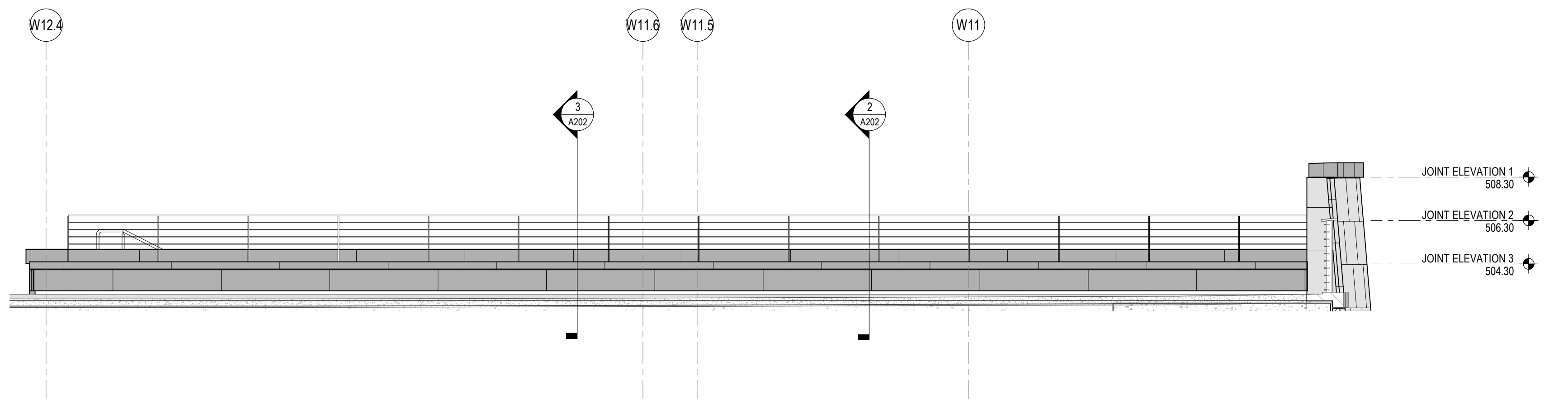
JOB NUMBER
THP 98090.40

DATE
12/17/2021

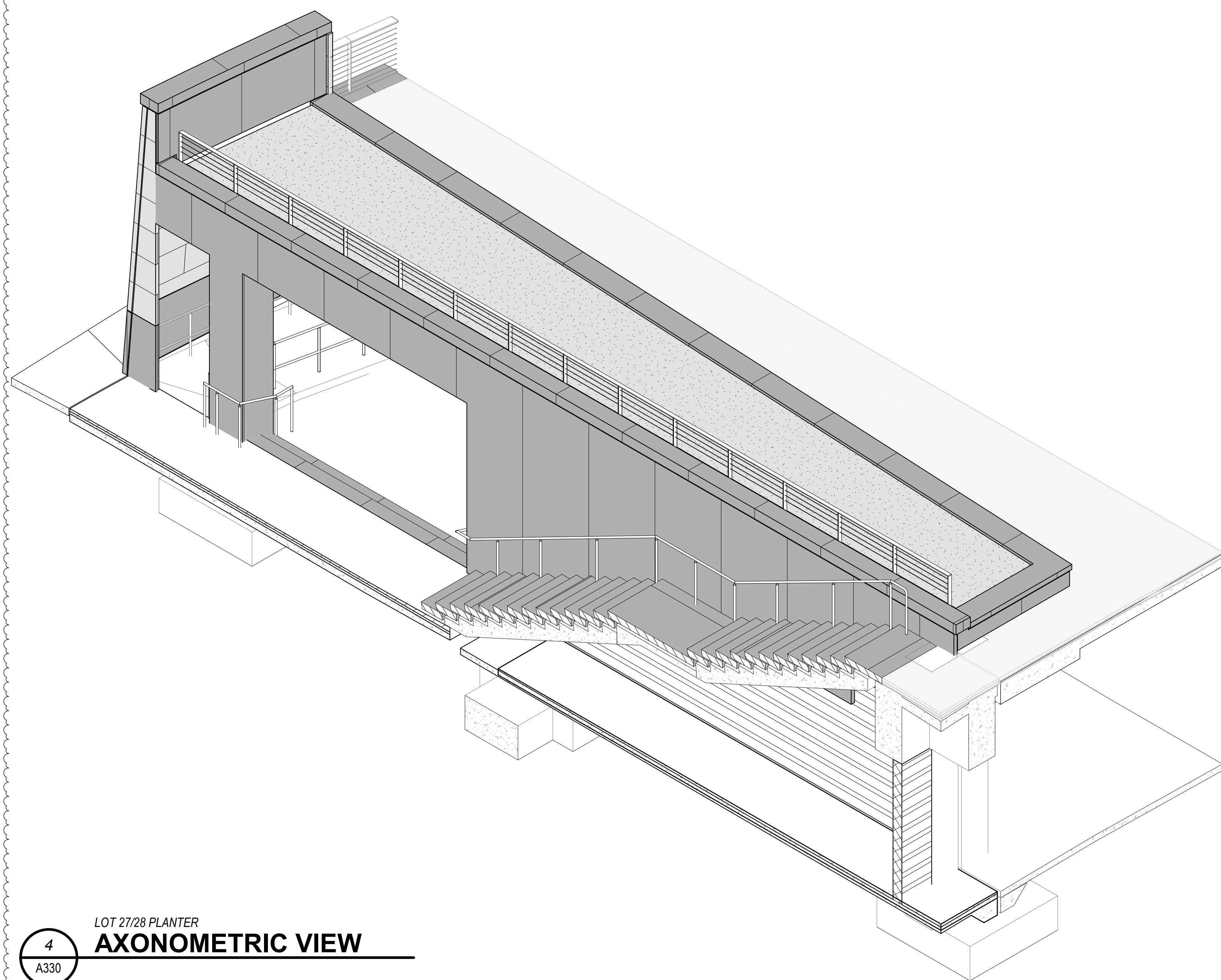
DRAWING NUMBER
A320



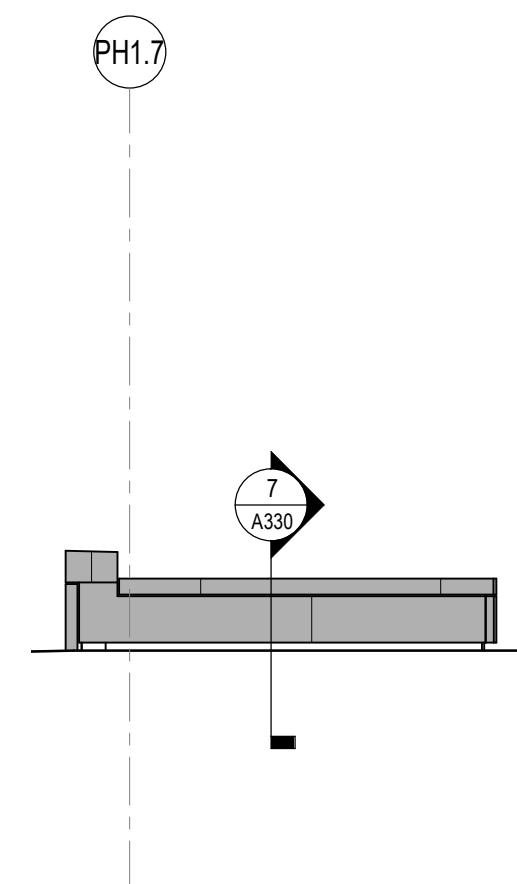
LOT 27 PLANTER
ENLARGED PLAN
1
A330
1/4" = 1'-0"



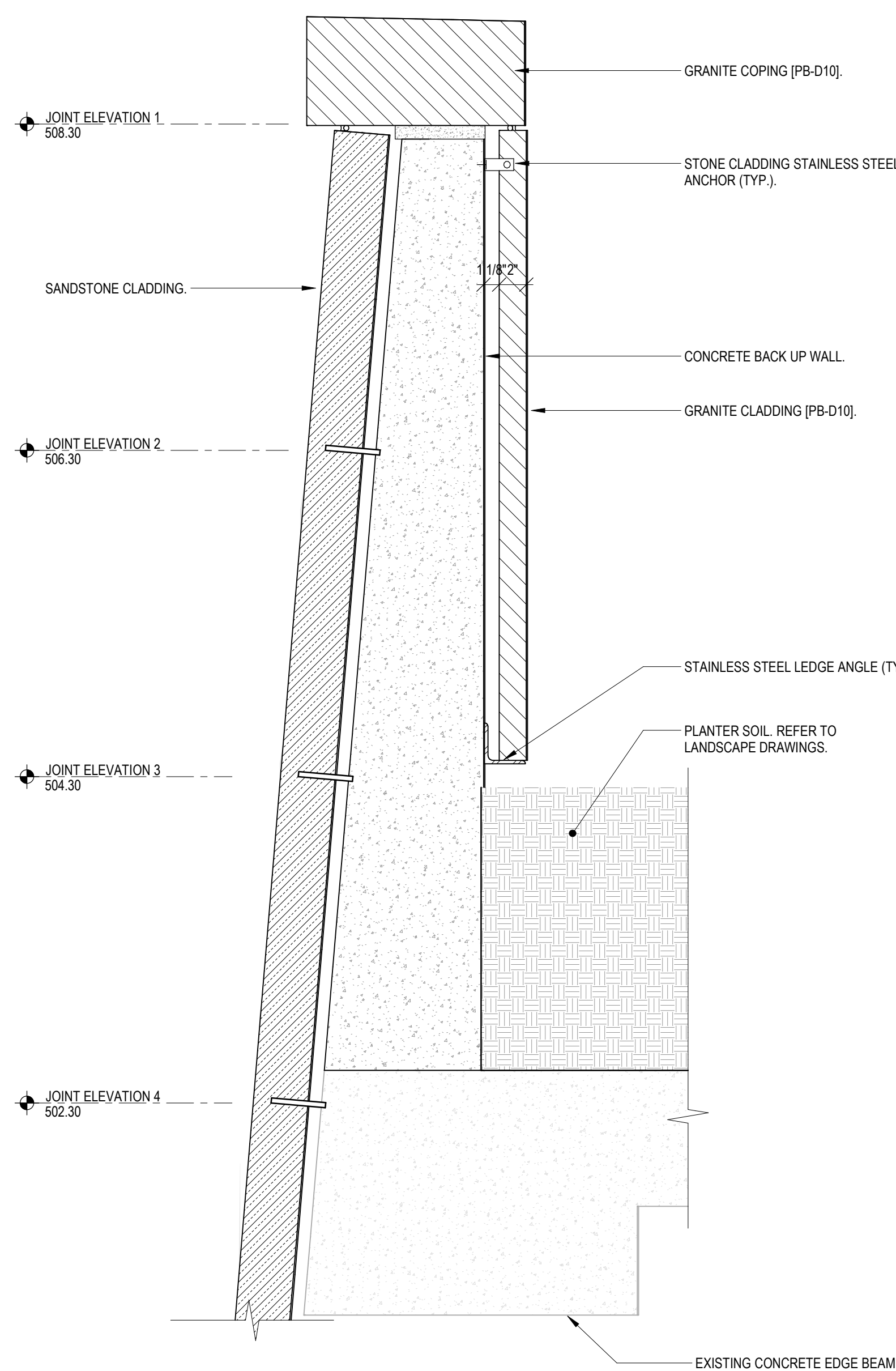
LOT 27 PLANTER
NORTH ELEVATION
2
A330
1/4" = 1'-0"



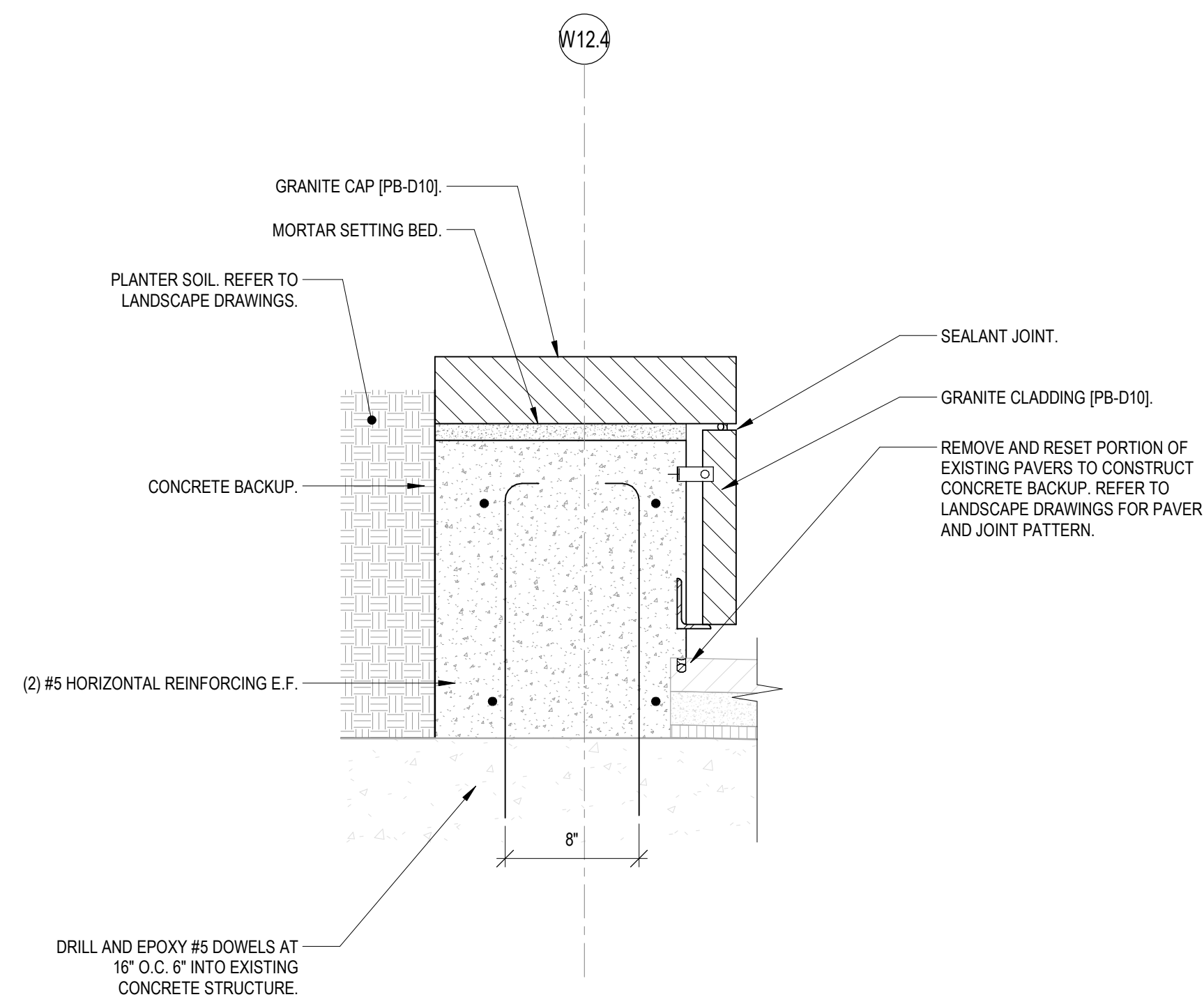
LOT 27/28 PLANTER
AXONOMETRIC VIEW
4
A330



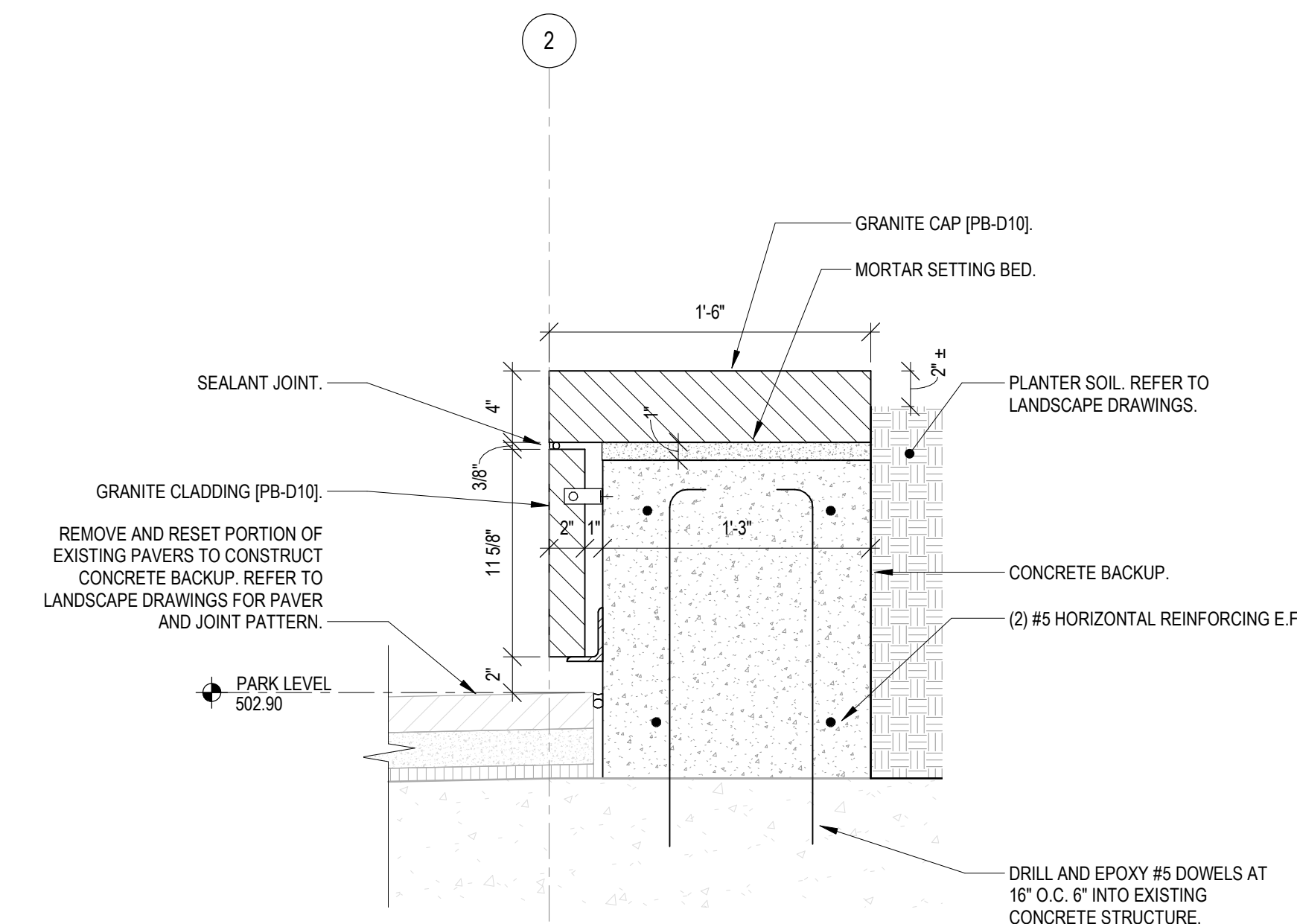
LOT 27 PLANTER
EAST ELEVATION
3
A330
1/4" = 1'-0"



LOT 27 PLANTER
SECTION
5
A330
1 1/2" = 1'-0"



LOT 27 PLANTER
SECTION
7
A330
1 1/2" = 1'-0"



LOT 27 PLANTER
SECTION
6
A330
1 1/2" = 1'-0"

GRANITE COLOR & FINISH LEGEND

COLORS: PB - PRAIRIE BROWN
MB - MESABI BLACK

FINISHES: D10 - DIAMOND 10
RF - ROCK FACE
ANT - ANTIQUE



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS



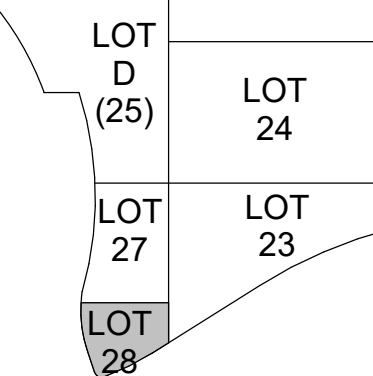
THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202

513.241.3222
THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.

ISSUE/REVISIONS (ISSUE/REVISIONS CONTINUED)

1 12/17/2021 BPF2, PARK & GARAGE
2 01/13/2022 BPF2, ADDENDUM #2



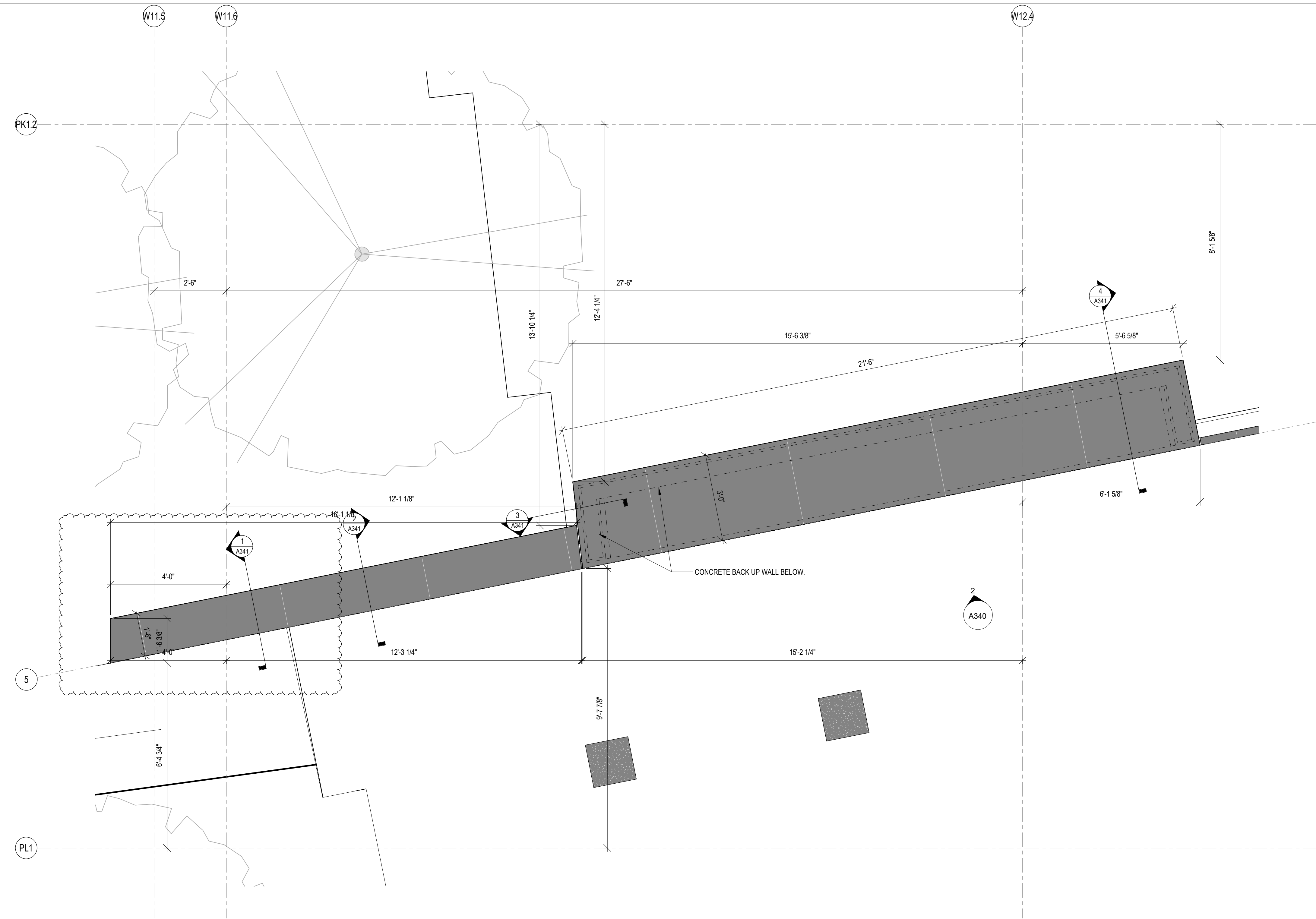
PROJECT ARCHITECT
J.M.H.
PROJECT MANAGER
M.S.M.
PRINCIPAL
J.M.J.
CHECKED BY
M.S.M.



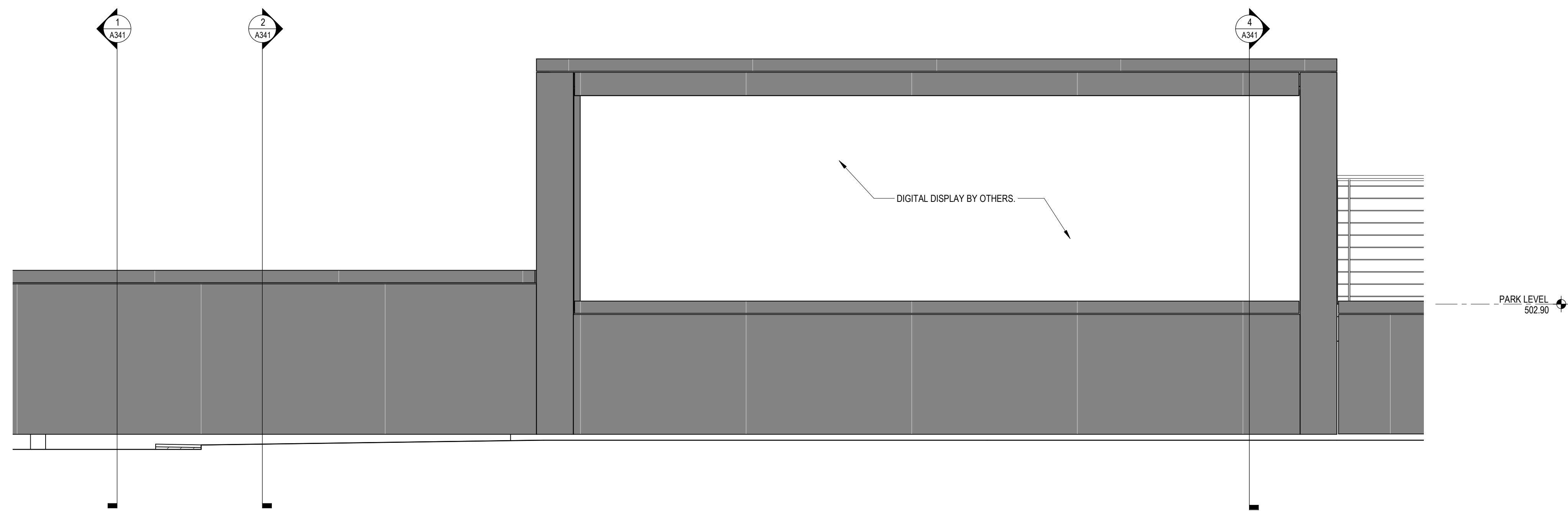
DRAWING TITLE
LOT 27 PLANTER PLAN &
SECTIONS

JOB NUMBER
THP 98090.40
DATE
12/17/2021
DRAWING NUMBER

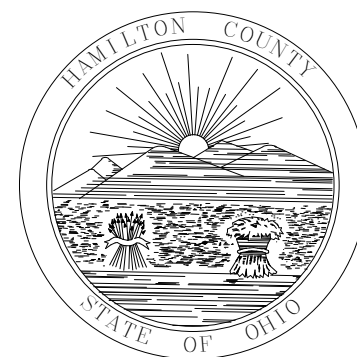
A330



1
A340
UPPER LANDING DISPLAY
ENLARGED PLAN
1/2" = 1'-0"
NORTH



2
A340
UPPER LANDING DISPLAY
SOUTH ELEVATION
1/2" = 1'-0"



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS

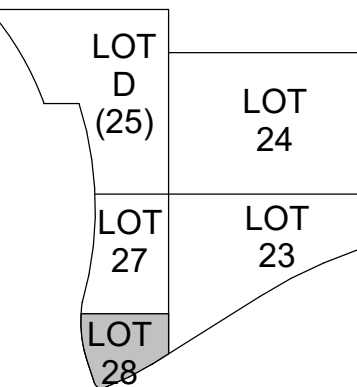


THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202

513.241.3222
THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.

ISSUE/REVISIONS (ISSUE/REVISIONS CONTINUED)	
1	12/17/2021 BPF2 - PARK & GARAGE
2	01/13/2022 BPF2 - ADDENDUM #2



PROJECT ARCHITECT
J.M.H.
PROJECT MANAGER
M.S.M.
PRINCIPAL
J.M.J.
CHECKED BY
M.S.M.

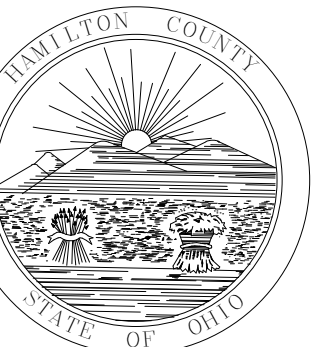


DRAWING TITLE

UPPER LANDING DISPLAY

JOB NUMBER
THP 98090.40
DATE
12/17/2021
DRAWING NUMBER

A340



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS



THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202
513.241.3222
THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.

ISSUE/REVISIONS (ISSUE/REVISIONS CONTINUED)	
1	12/17/2021 BPZ - PARK & GARAGE
2	01/13/2022 BPZ - ADDENDUM #2

LOT D (25)	LOT 24
LOT 27	LOT 23
LOT 28	

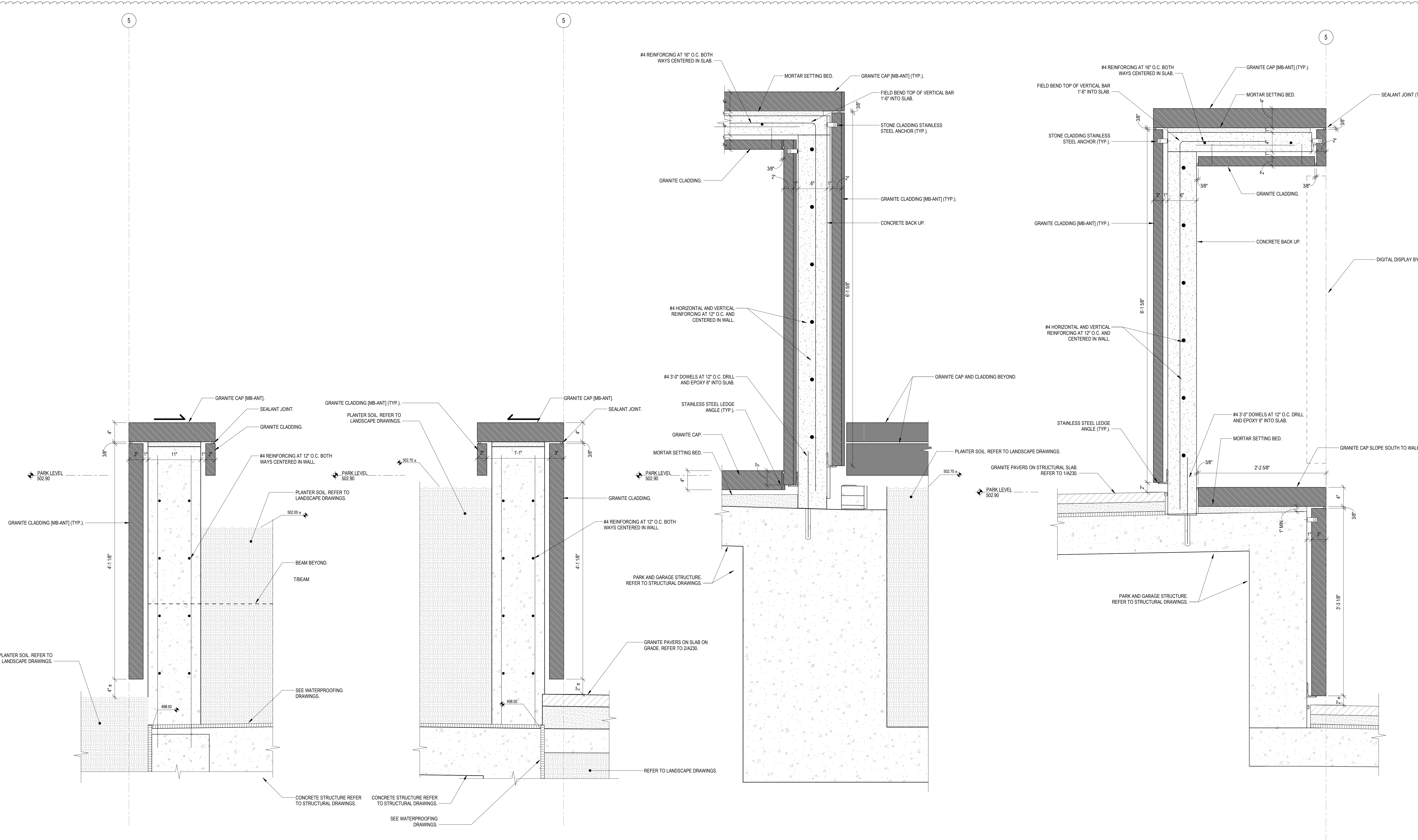
PROJECT ARCHITECT
J.M.H.
PROJECT MANAGER
M.S.M.
PRINCIPAL
J.M.J.
CHECKED BY
M.S.M.



DRAWING TITLE
UPPER LANDING DISPLAY
SECTIONS

JOB NUMBER
THP 98090.40
DATE
12/17/2021
DRAWING NUMBER

A341



1
A341
UPPER LANDING DISPLAY
SECTION
1 1/2" = 1'-0"

2
A341
UPPER LANDING DISPLAY
SECTION
1 1/2" = 1'-0"

3
A341
UPPER LANDING DISPLAY
SECTION
1 1/2" = 1'-0"

4
A341
UPPER LANDING DISPLAY
SECTION
1 1/2" = 1'-0"

GRANITE COLOR & FINISH LEGEND

COLORS: PB - PRAIRIE BROWN
MB - MESABI BLACK

FINISHES: D10 - DIAMOND 10
RF - ROCK FACE
ANT - ANTIQUE

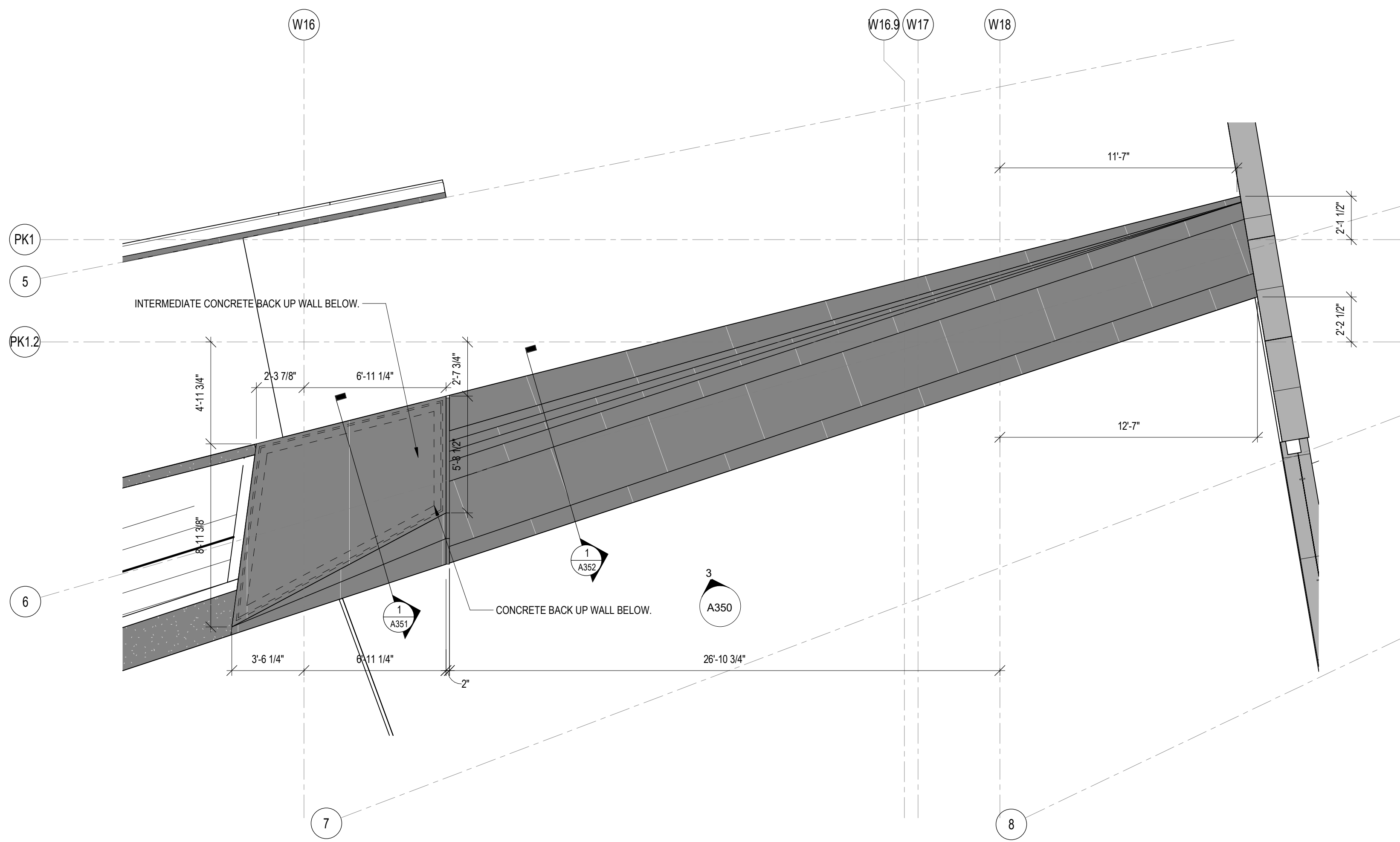


HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS

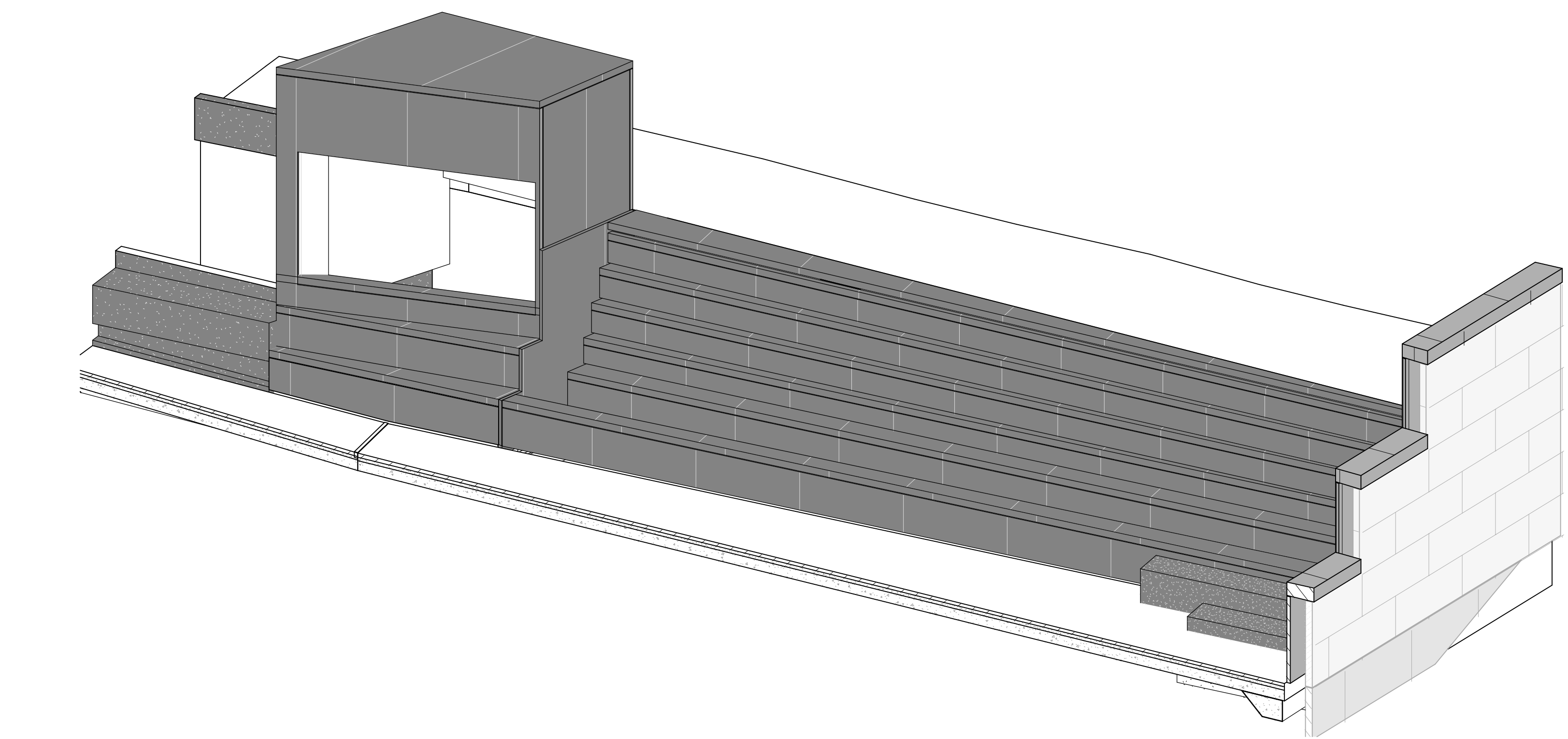


THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202
513.241.3222
THPLTD.com

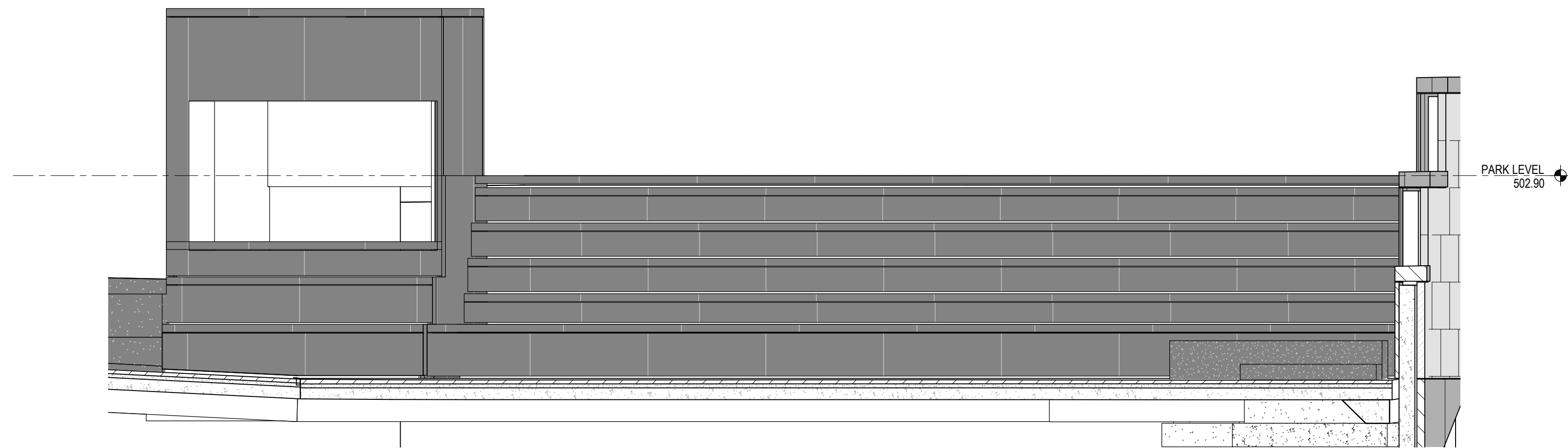
This document is the product and property
of THP Limited. Neither the document nor
the information it contains may be copied
or reused for other than the specific
project for which it was prepared without
the written consent of THP Limited.



FOUNTAIN & LOWER LANDING DISPLAY
1 ENLARGED PLAN
1/4\" = 1'-0"



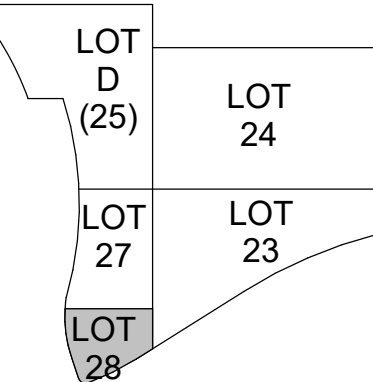
LOT 27/28 PLANTER
2 AXONOMETRIC VIEW



FOUNTAIN & LOWER LANDING DISPLAY
3 SOUTH ELEVATION
1/4\" = 1'-0"

ISSUE/REVISIONS (ISSUE/REVISIONS CONTINUED)

1. 07/13/2021 BPF2_ADDENDUM #2



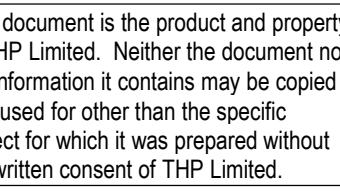
PROJECT ARCHITECT
J.M.H.
PROJECT MANAGER
M.S.M.
PRINCIPAL
J.M.J.
CHECKED BY
M.S.M.



DRAWING TITLE
FOUNTAIN & LOWER LANDING
DISPLAY

JOB NUMBER
THP 98090.40
DATE
12/17/2021

DRAWING NUMBER
A350

[illegible]

LOT D (25)

LOT 24

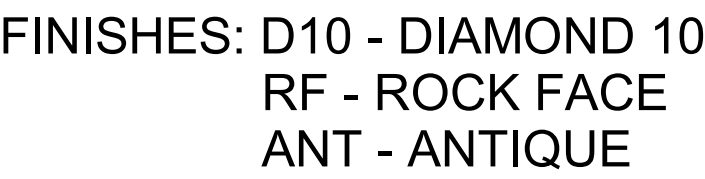
LOT 27

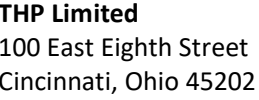
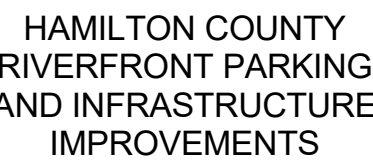
LOT 23

LOT 28

THE BANKS
Public Partnership

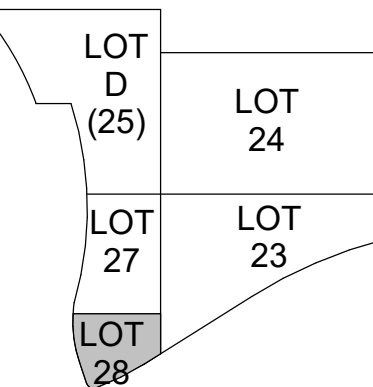
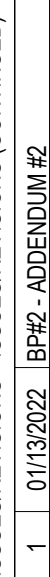
A351





513.241.3222
THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.



PROJECT ARCHITECT

PROJECT MANAGER

PRINCIPAL

CHECKED BY _____



DRAWING TITLE

FOUNTAIN SECTIONS

8 NUMBE

IP 98090.4M

DRAWING NUMBER

A352

GRANITE COLOR & FINISH LEGEND

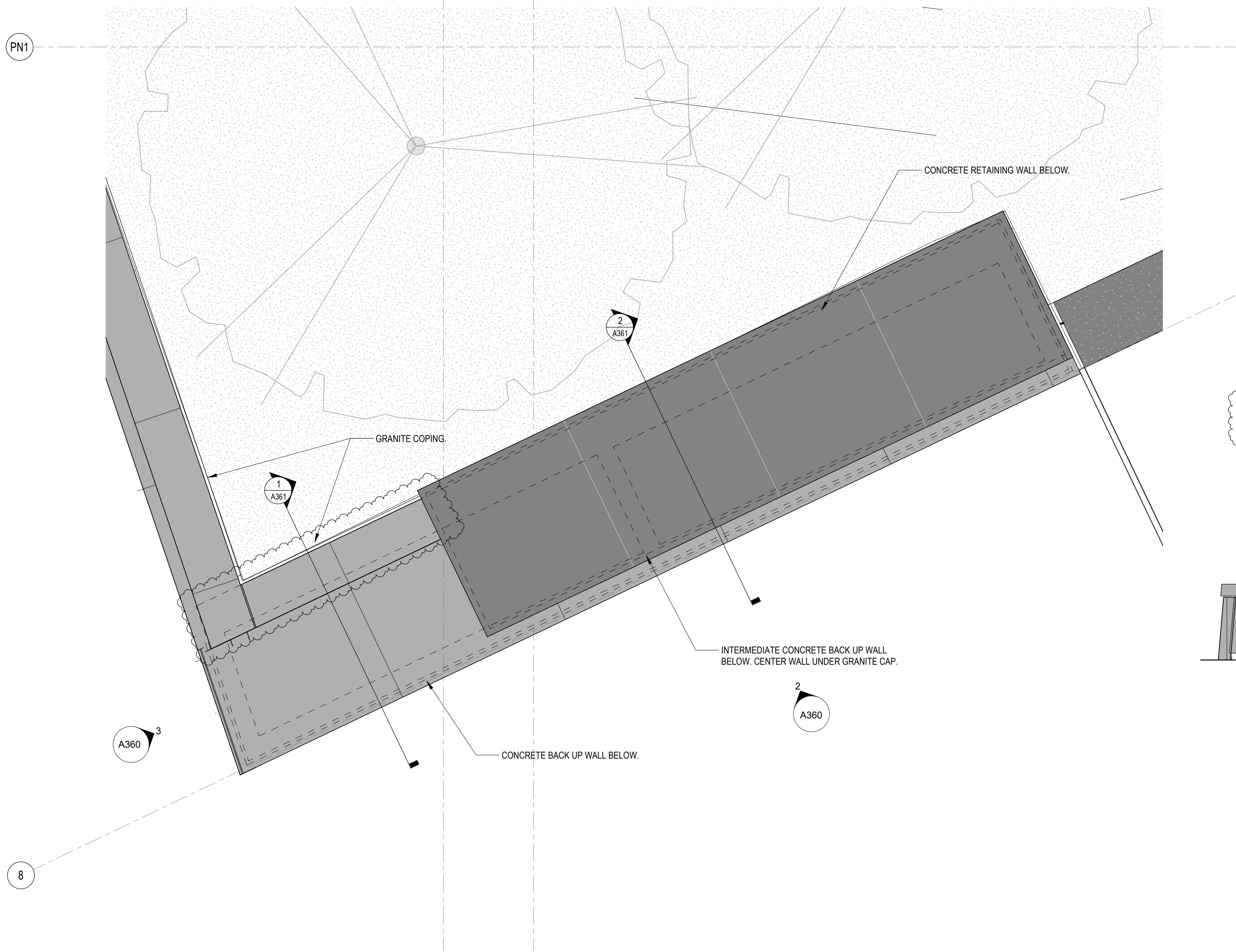
COLORS: PB - PRAIRIE BROWN
MB - MESABI BLACK

FINISHES: D300 - DIAMOND 300
D10 - DIAMOND 10
RF - ROCK FACE
ANT - ANTIQUE

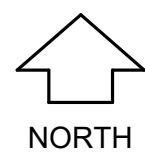
FOUNTAIN & LOWER LANDING DISPLAY

SECTION

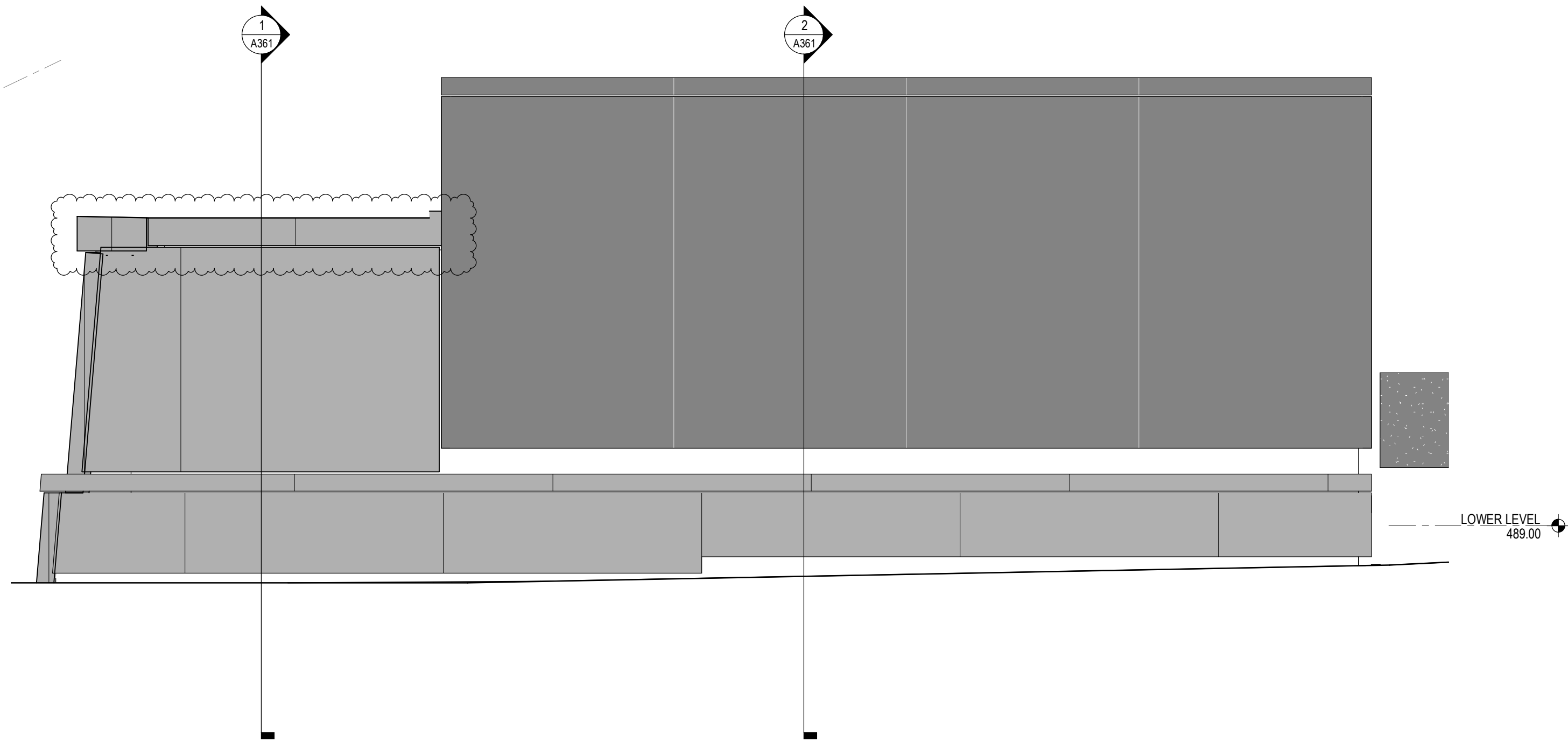
$$1\frac{1}{2}'' = 1'-0''$$



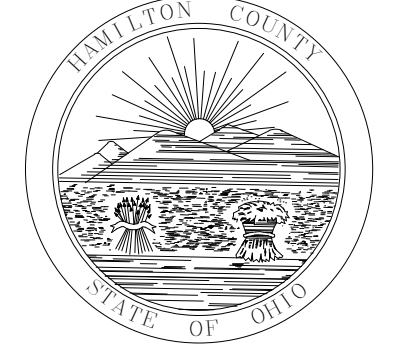
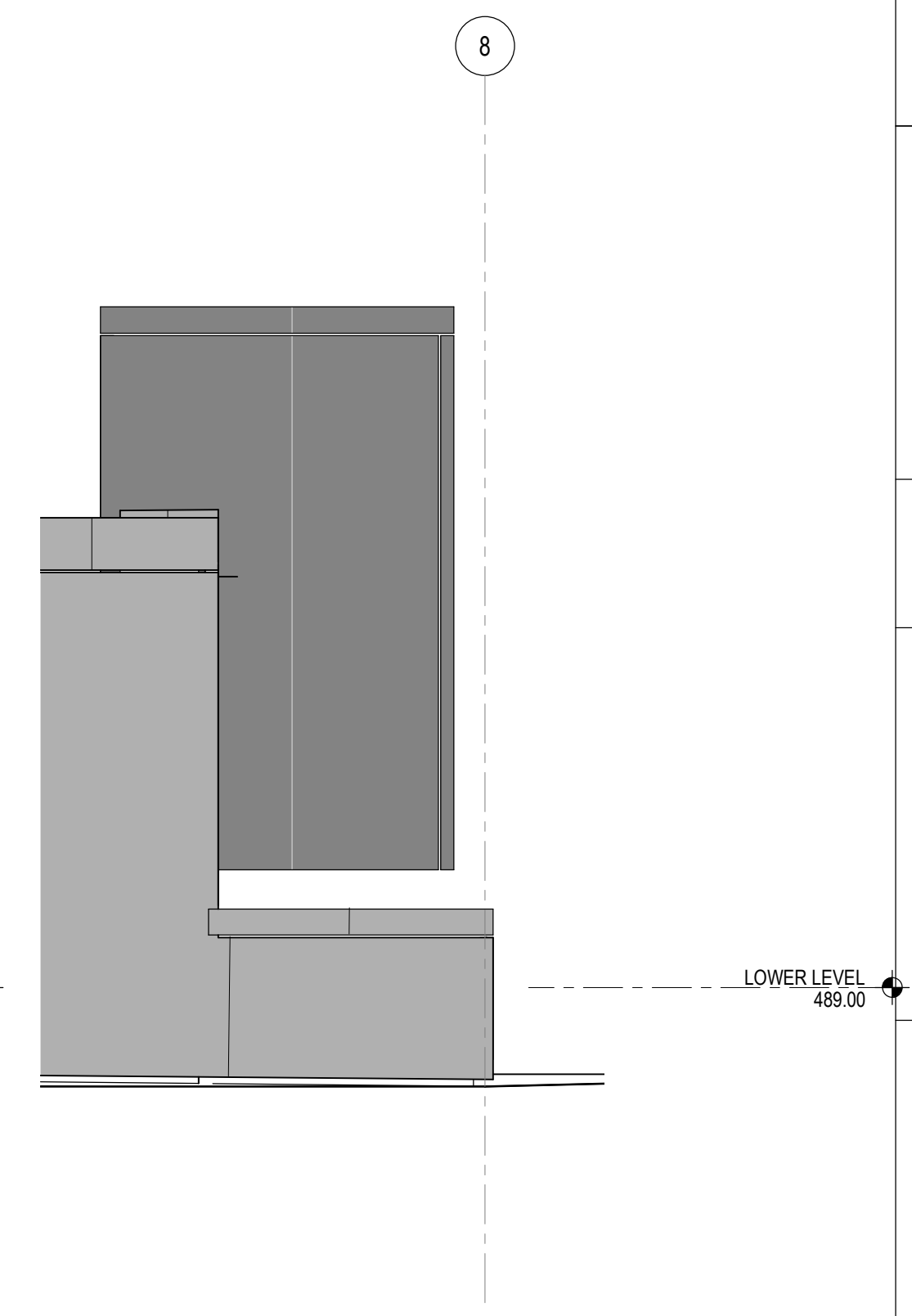
NORTH ENTRY MARKER - MEHRING WAY
ENLARGED PLAN
1/2" = 1'-0"



NORTH ENTRY MARKER - MEHRING WAY
SOUTH ELEVATION
1/2" = 1'-0"



MEHRING WAY ENTRY MARKER
EAST ELEVATION
1/2" = 1'-0"



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS

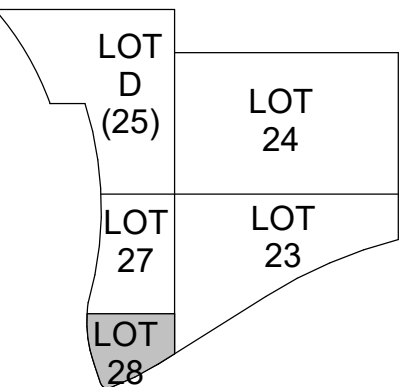


THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202

513.241.3222
THPLTD.com

This document is the product and property
of THP Limited. Neither the document nor
the information it contains may be copied
or reused for other than the specific
project for which it was prepared without
the written consent of THP Limited.

ISSUE/REVISIONS (ISSUE/REVISIONS CONTINUED)									
1	12/17/2021	BP2 - PARK & GARAGE							
2	01/13/2022	BP2 - ADDENDUM #2							



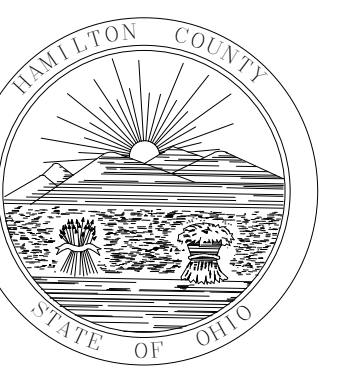
PROJECT ARCHITECT
J.M.H.
PROJECT MANAGER
M.S.M.
PRINCIPAL
J.M.J.
CHECKED BY
M.S.M.



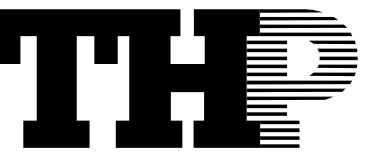
DRAWING TITLE
MEHRING WAY NORTH ENTRY
MARKER

JOB NUMBER
THP 98090.40
DATE
12/17/2021
DRAWING NUMBER

A360



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS

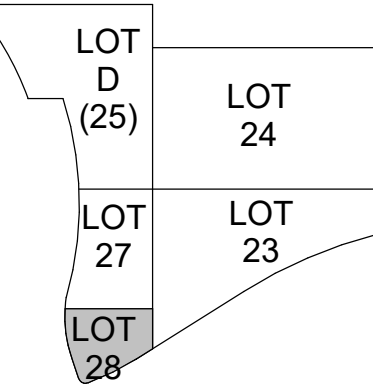


THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202

513.241.3222
THPLTD.com

This document is the product and property
of THP Limited. Neither the document nor
the information it contains may be copied
or reused for other than the specific
project for which it was prepared without
the written consent of THP Limited.

ISSUE/REVISIONS (ISSUE/REVISIONS CONTINUED)	
1	12/17/2021 BPF2 - PARK & GARAGE
2	01/13/2022 BPF2 - ADDENDUM #2



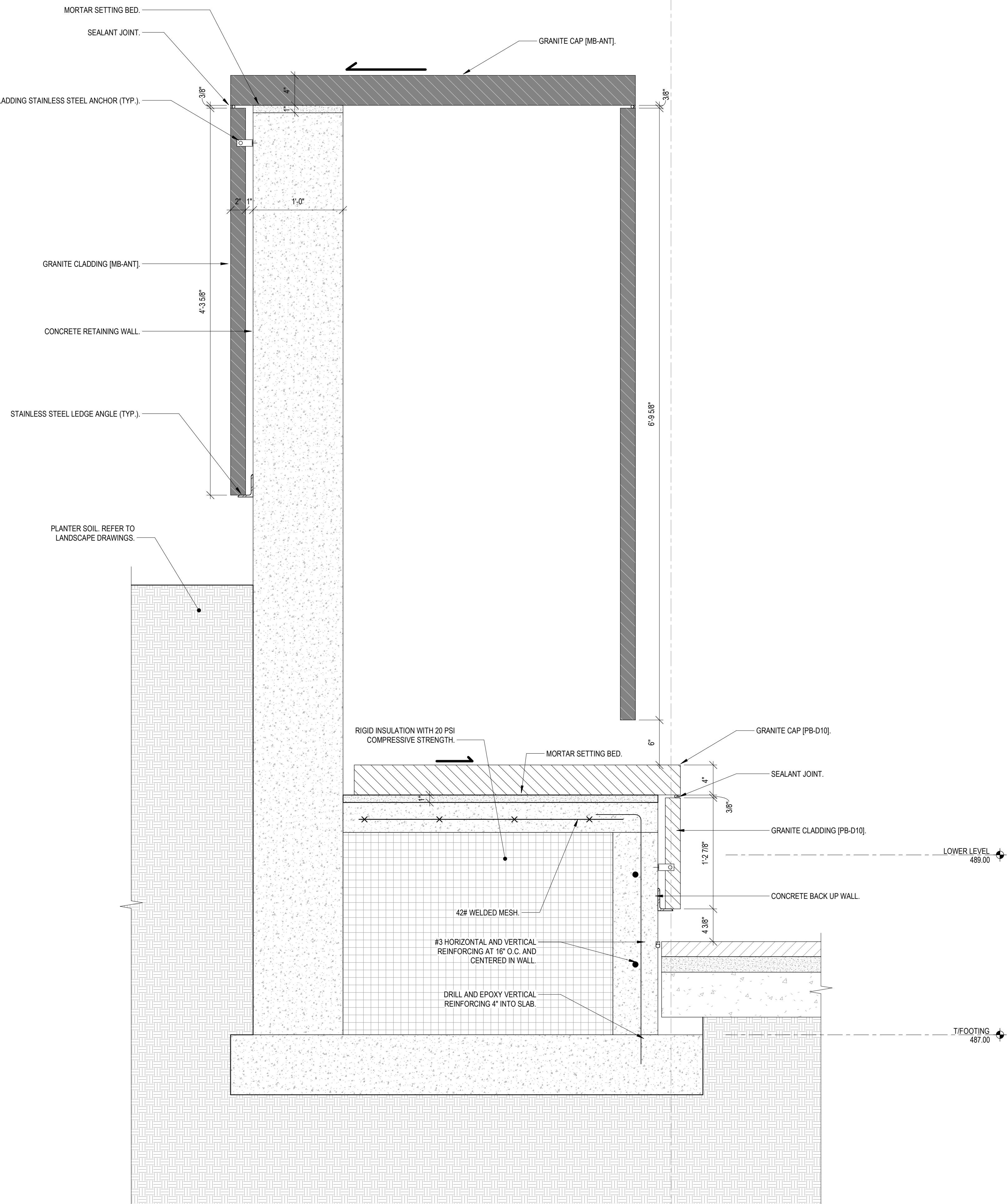
PROJECT ARCHITECT
J.M.H.
PROJECT MANAGER
M.S.M.
PRINCIPAL
J.M.J.
CHECKED BY
M.S.M.



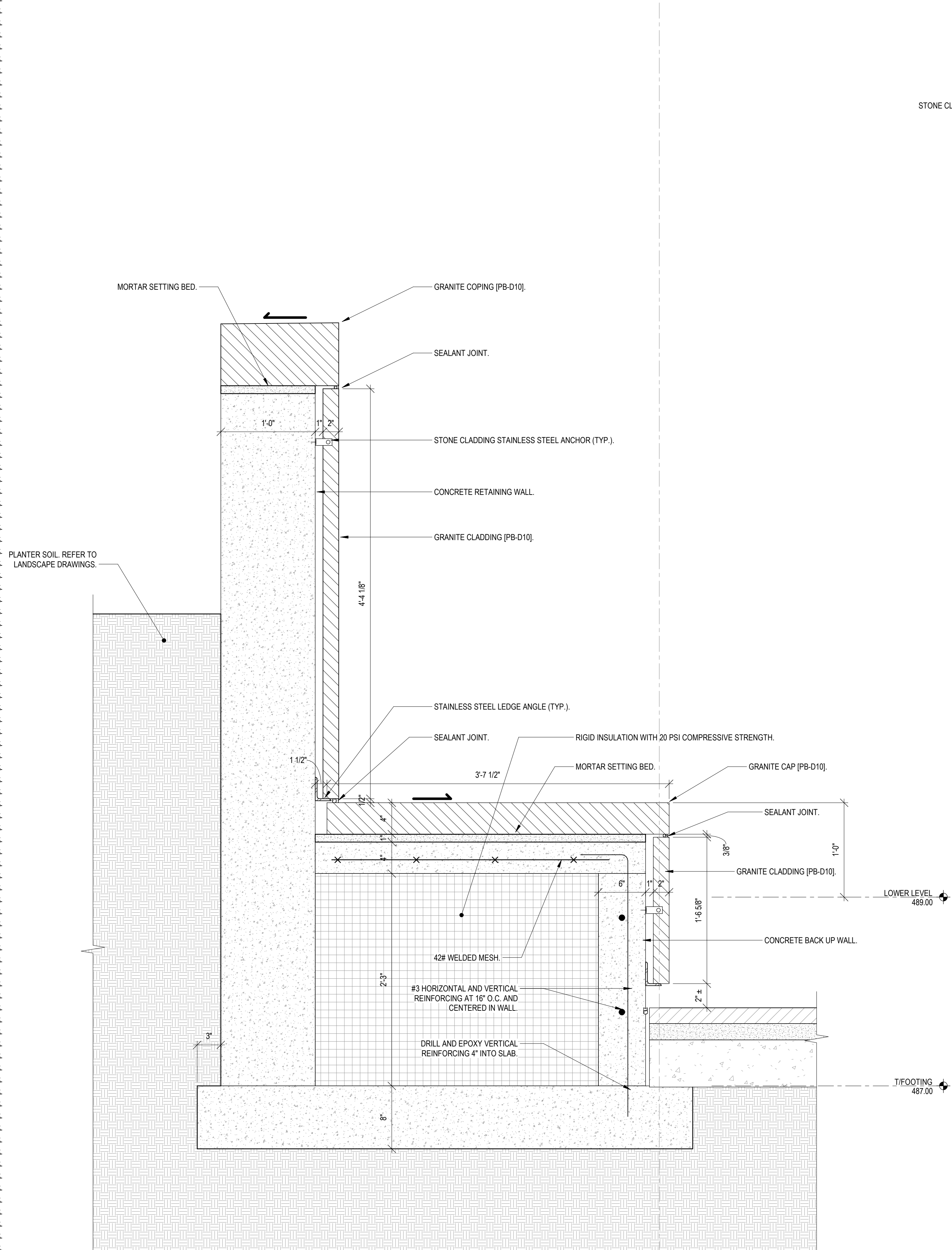
DRAWING TITLE
MEHRING WAY NORTH ENTRY
MARKER DETAILS

JOB NUMBER
THP 98090.40
DRAWING NUMBER
A361

DATE
12/17/2021



SECTION
1 1/2" = 1'-0"

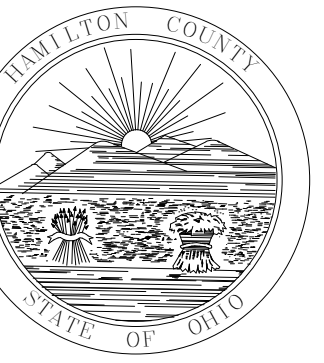


SECTION
1 1/2" = 1'-0"

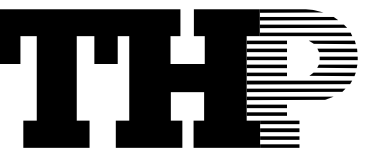
GRANITE COLOR & FINISH LEGEND

COLORS: PB - PRAIRIE BROWN
MB - MESABI BLACK

FINISHES: D10 - DIAMOND 10
RF - ROCK FACE
ANT - ANTIQUE



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS

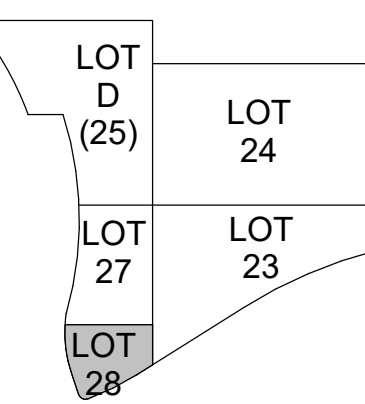


THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202

513.241.3222
THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.

ISSUE/REVISIONS (ISSUE/REVISIONS CONTINUED)	
1	12/17/2021 BPF2 - PARK & GARAGE
2	01/13/2022 BPF2 - ADDENDUM #2



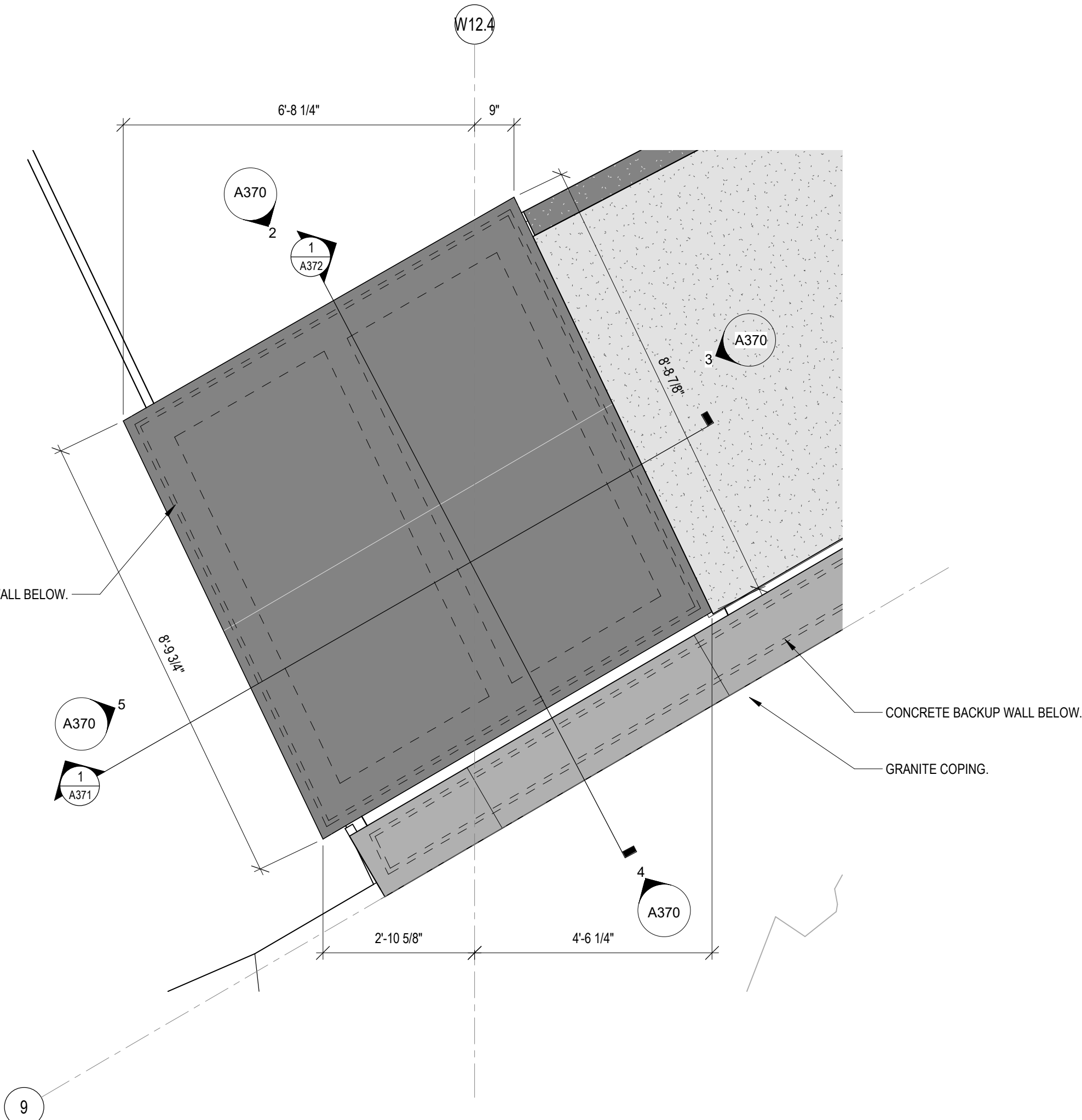
PROJECT ARCHITECT
J.M.H.
PROJECT MANAGER
M.S.M.
PRINCIPAL
J.M.J.
CHECKED BY
M.S.M.



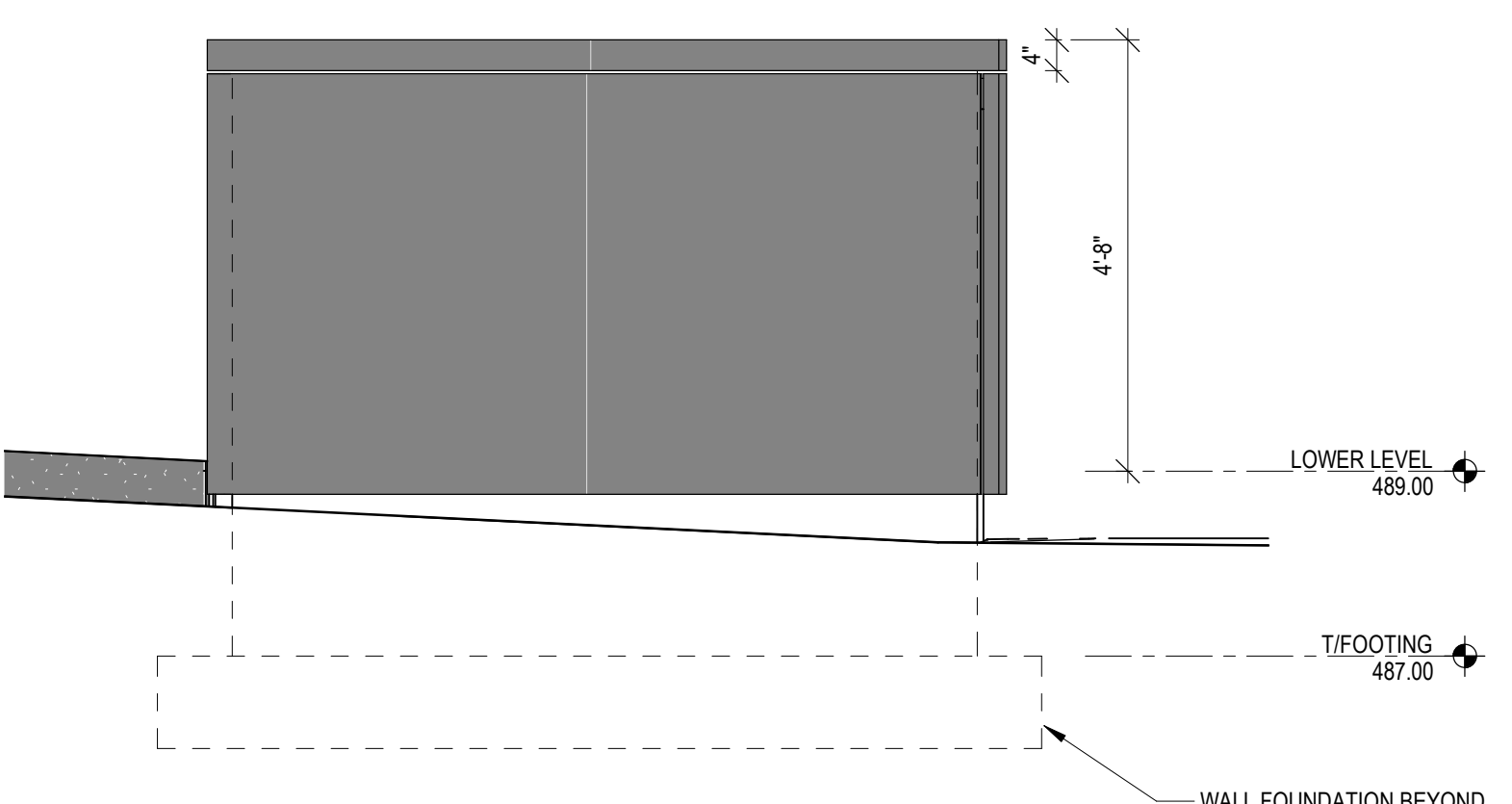
DRAWING TITLE
MEHRING WAY SOUTH ENTRY
MARKER

JOB NUMBER
THP 98090.40
DATE
12/17/2021
DRAWING NUMBER

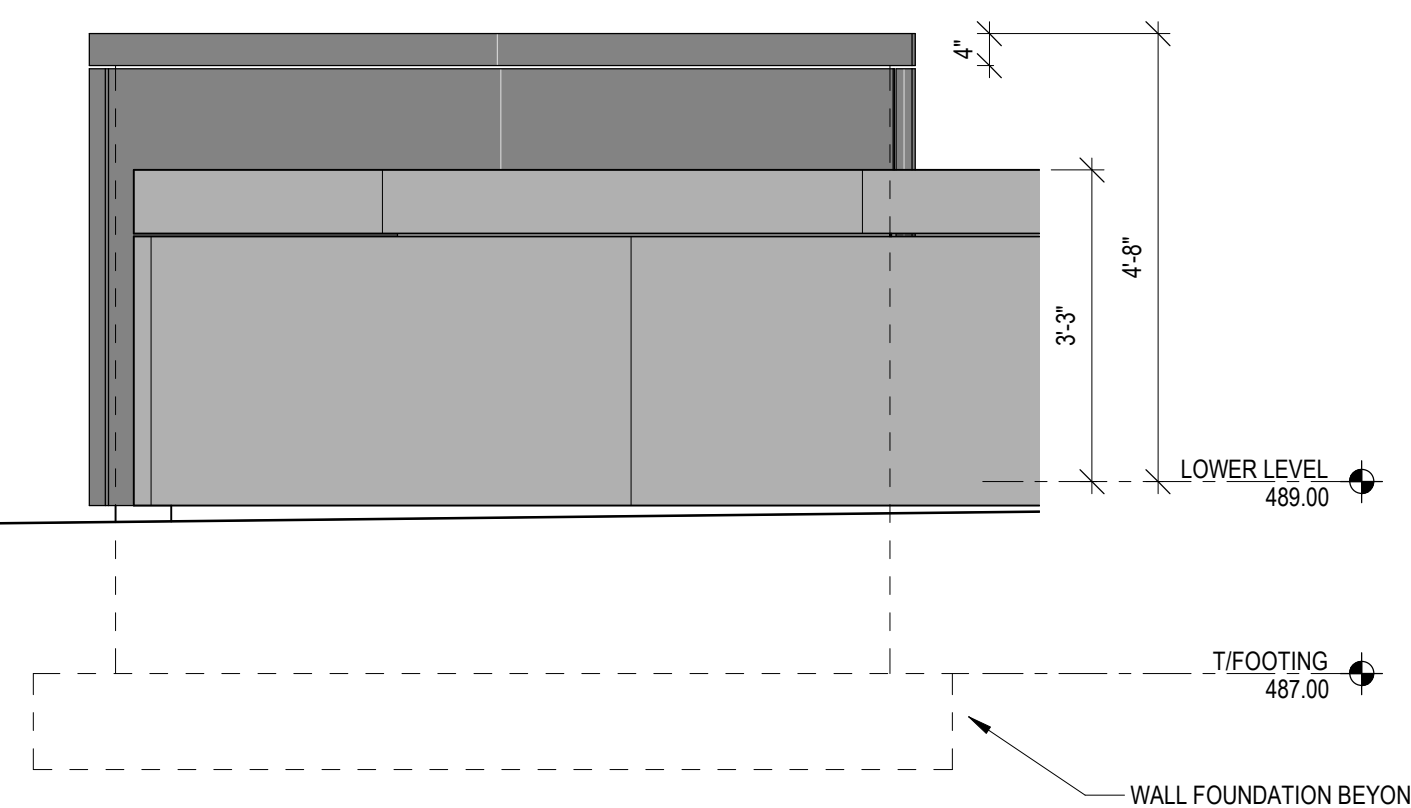
A370



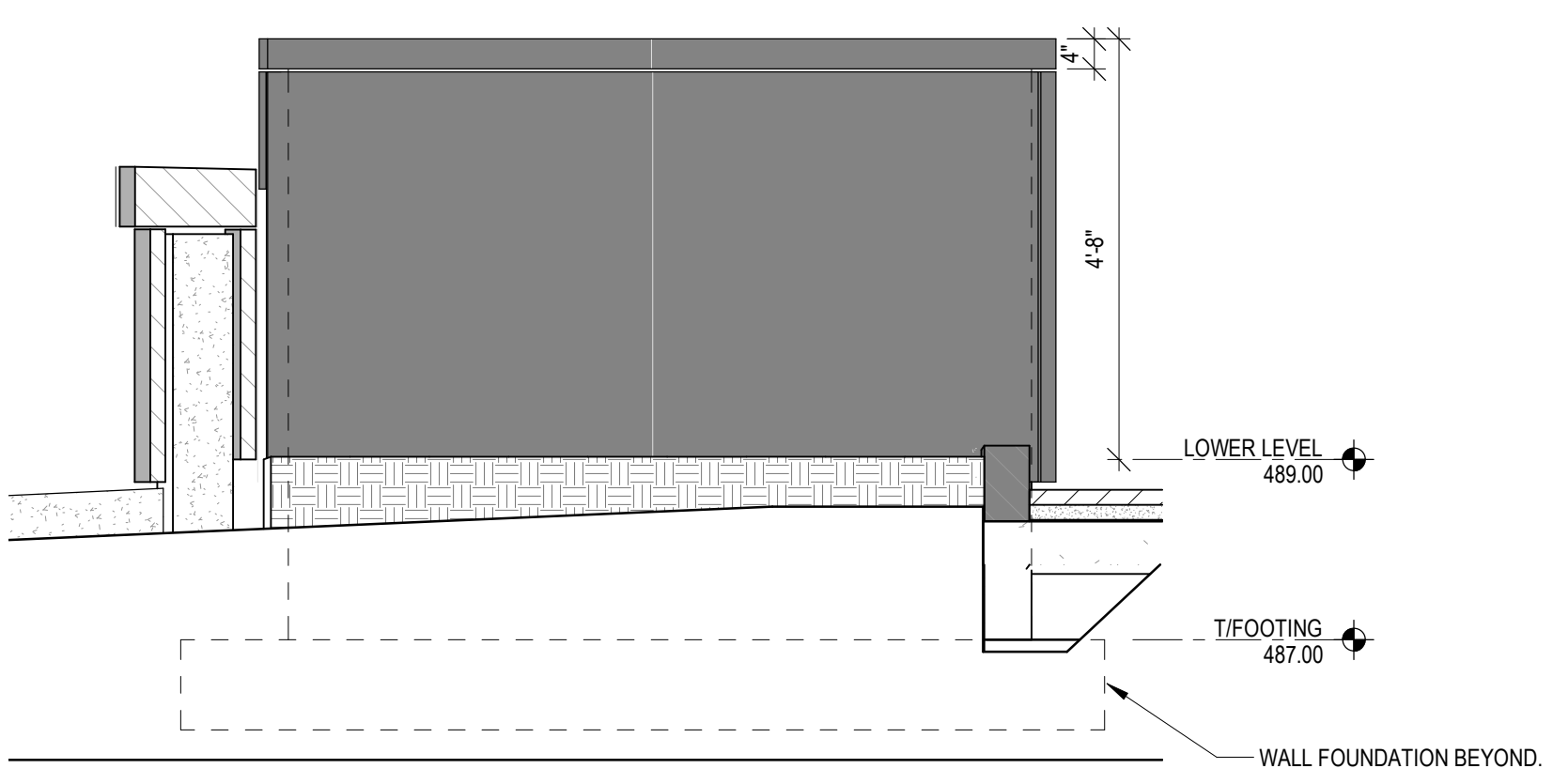
1 SOUTH ENTRY MARKER - MEHRING WAY
ENLARGED PLAN
1/2" = 1'-0" NORTH



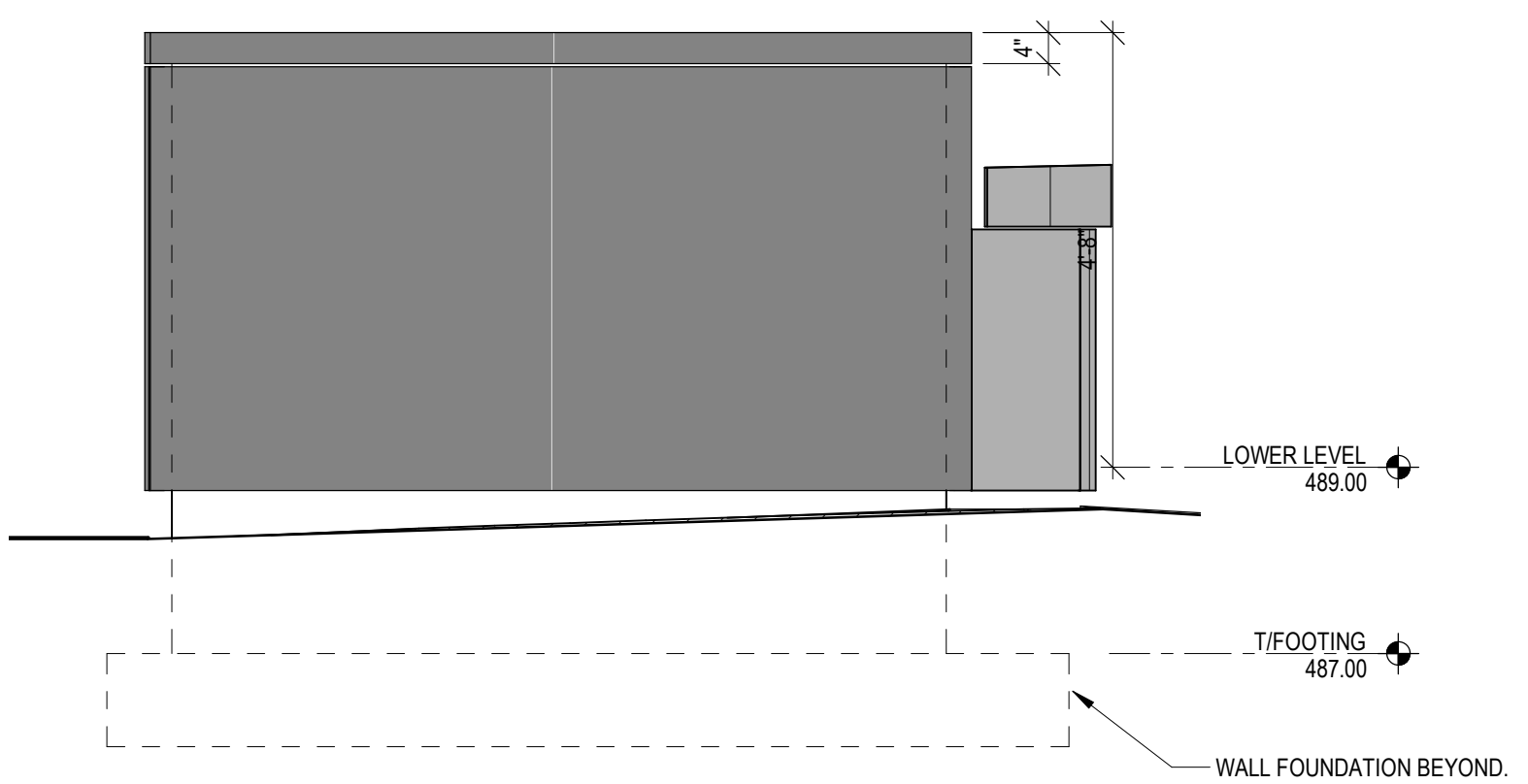
2 SOUTH ENTRY MARKER - MEHRING WAY
NORTH ELEVATION
1/2" = 1'-0"



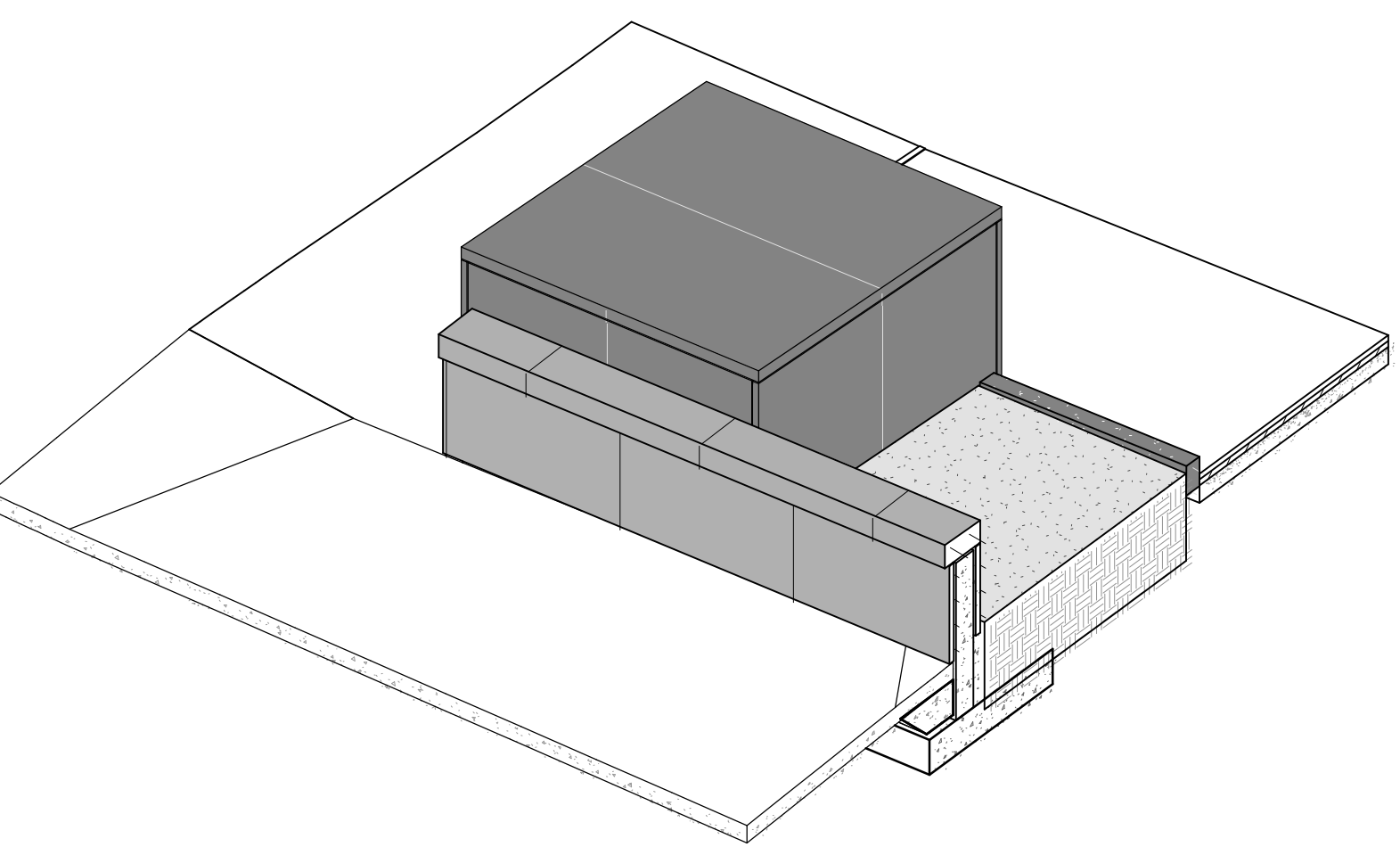
4 SOUTH ENTRY MARKER - MEHRING WAY
SOUTH ELEVATION
1/2" = 1'-0"



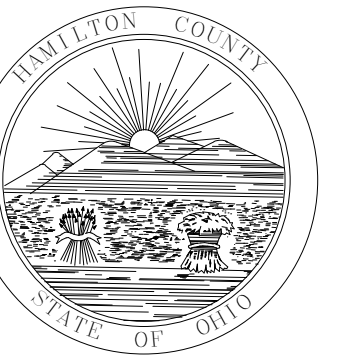
3 SOUTH ENTRY MARKER - MEHRING WAY
EAST ELEVATION
1/2" = 1'-0"



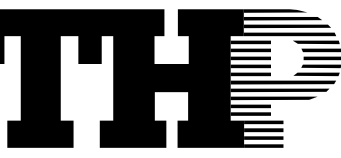
5 SOUTH ENTRY MARKER - MEHRING WAY
WEST ELEVATION
1/2" = 1'-0"



6 LOT 27/28 PLANTER
AXONOMETRIC VIEW
A370

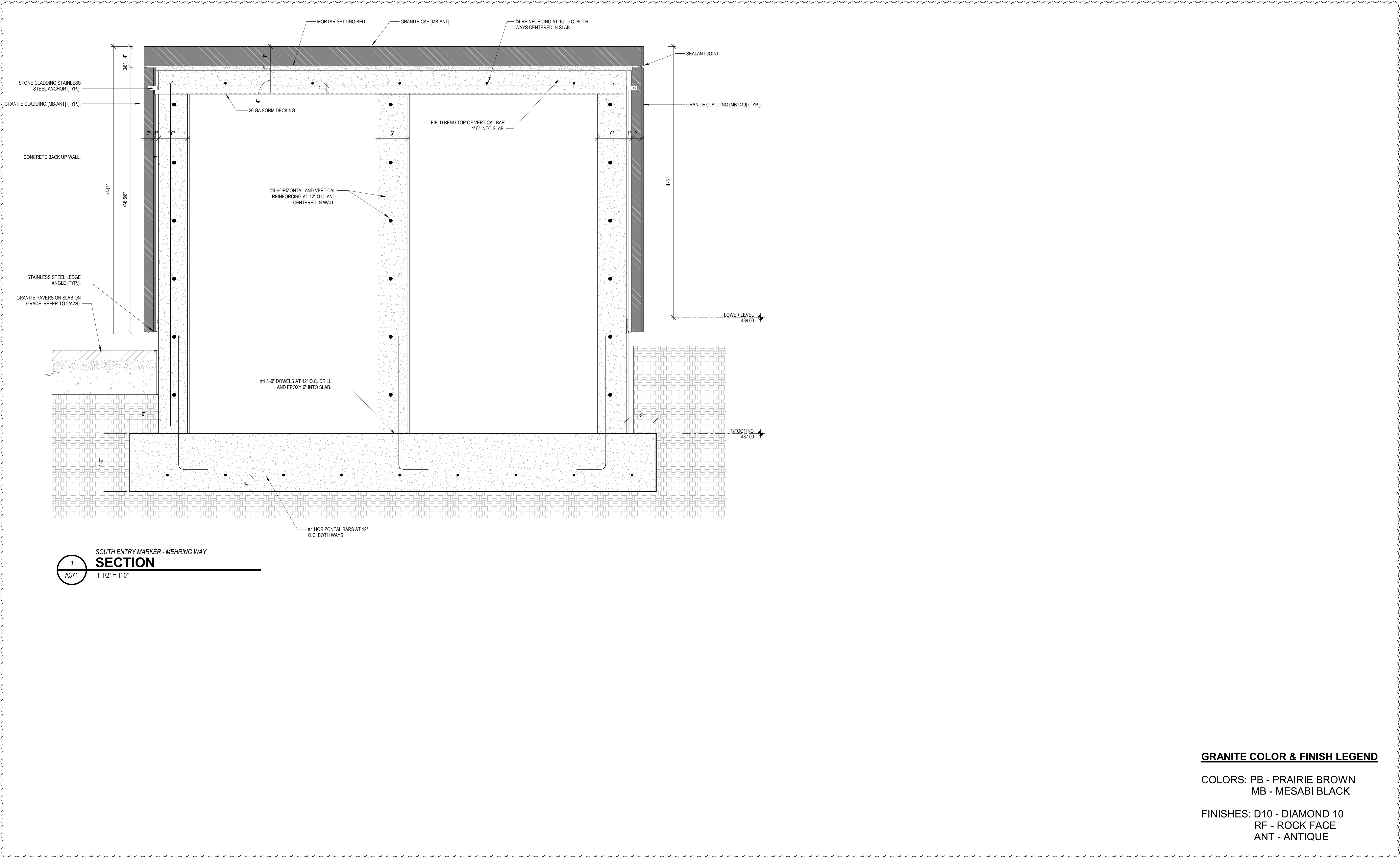


HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS



THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202
513.241.3222
THPLTD.com

This document is the product and property of THP Limited. Neither the document nor the information it contains may be copied or reused for other than the specific project for which it was prepared without the written consent of THP Limited.



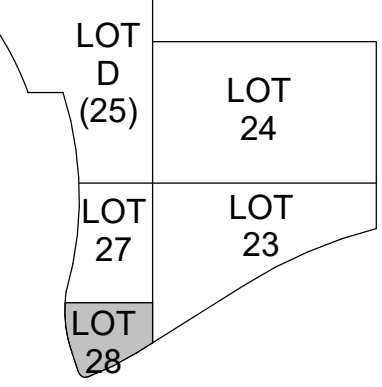
GRANITE COLOR & FINISH LEGEND

COLORS: PB - PRAIRIE BROWN
MB - MESABI BLACK

FINISHES: D10 - DIAMOND 10
RF - ROCK FACE
ANT - ANTIQUE

ISSUE/REVISIONS (ISSUE/REVISIONS CONTINUED)

1	12/17/2021	BP#2 - PARK & GARAGE
2	01/13/2022	BP#2 - ADDENDUM #2



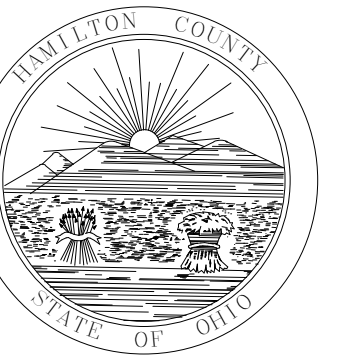
PROJECT ARCHITECT
J.M.H.
PROJECT MANAGER
M.S.M.
PRINCIPAL
J.M.J.
CHECKED BY
M.S.M.



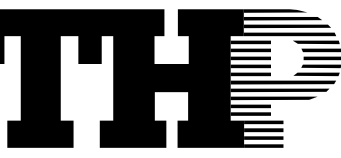
DRAWING TITLE
MEHRING WAY SOUTH ENTRY
MARKER E-W SECTION

JOB NUMBER	DATE
THP 98090.40	12/17/2021
DRAWING NUMBER	

A371



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS



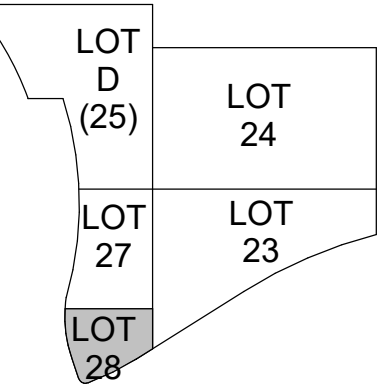
THP Limited
100 East Eighth Street
Cincinnati, Ohio 45202

513.241.3222
THPLTD.com

This document is the product and property
of THP Limited. Neither the document nor
the information it contains may be copied
or reused for other than the specific
project for which it was prepared without
the written consent of THP Limited.

ISSUE/REVISIONS (CONTINUED)

NO.	DATE	DESCRIPTION
1	12/17/2021	BP#2 - PARK & GARAGE
2	01/13/2022	BP#2 - ADDENDUM #2



PROJECT ARCHITECT
J.M.H.
PROJECT MANAGER
M.S.M.
PRINCIPAL
J.M.J.
CHECKED BY
M.S.M.



DRAWING TITLE
MEHRING WAY SOUTH ENTRY
MARKER N-S SECTION

JOB NUMBER	DATE
THP 98090.40	12/17/2021

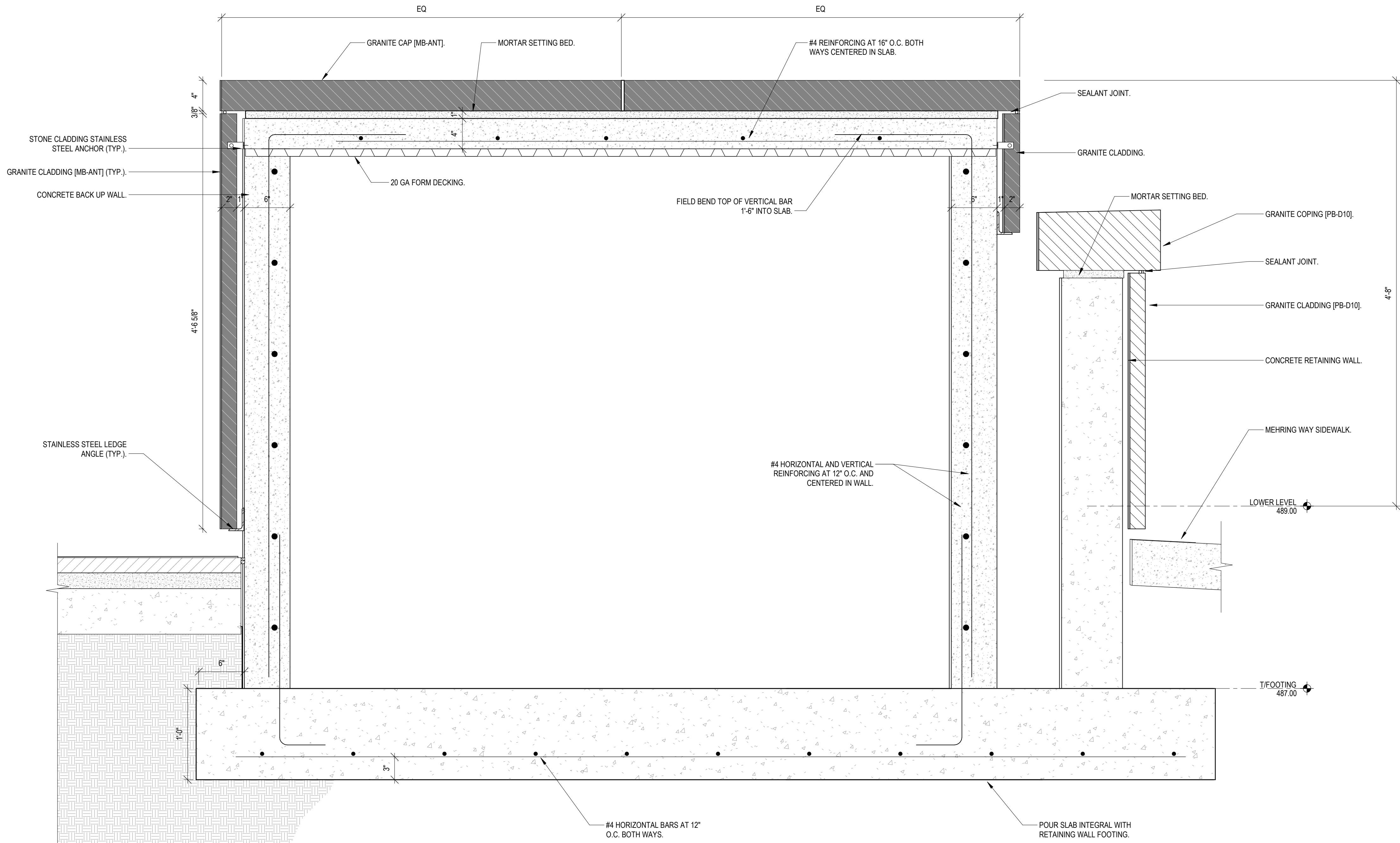
DRAWING NUMBER

A372

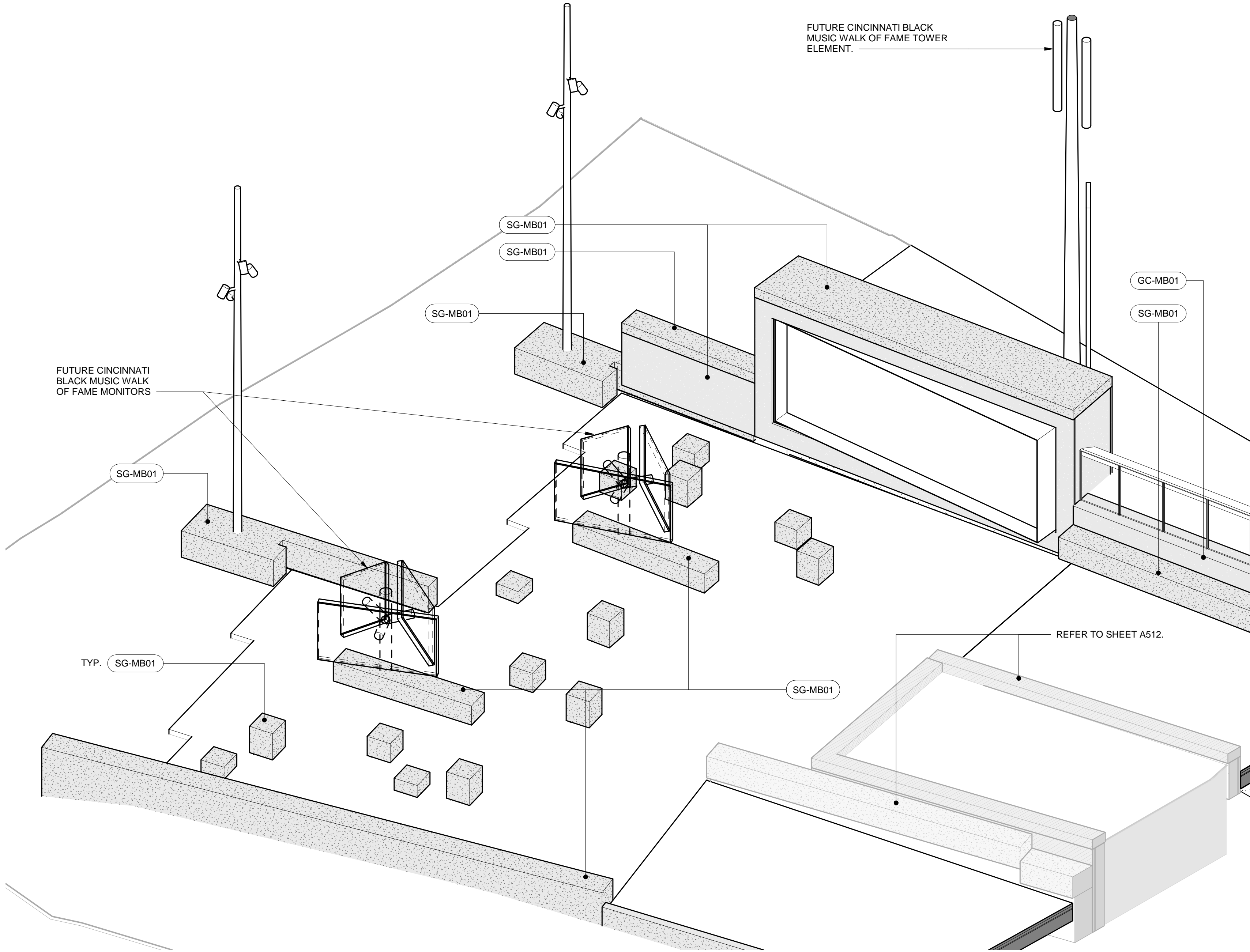
GRANITE COLOR & FINISH LEGEND

COLORS: PB - PRAIRIE BROWN
MB - MESABI BLACK

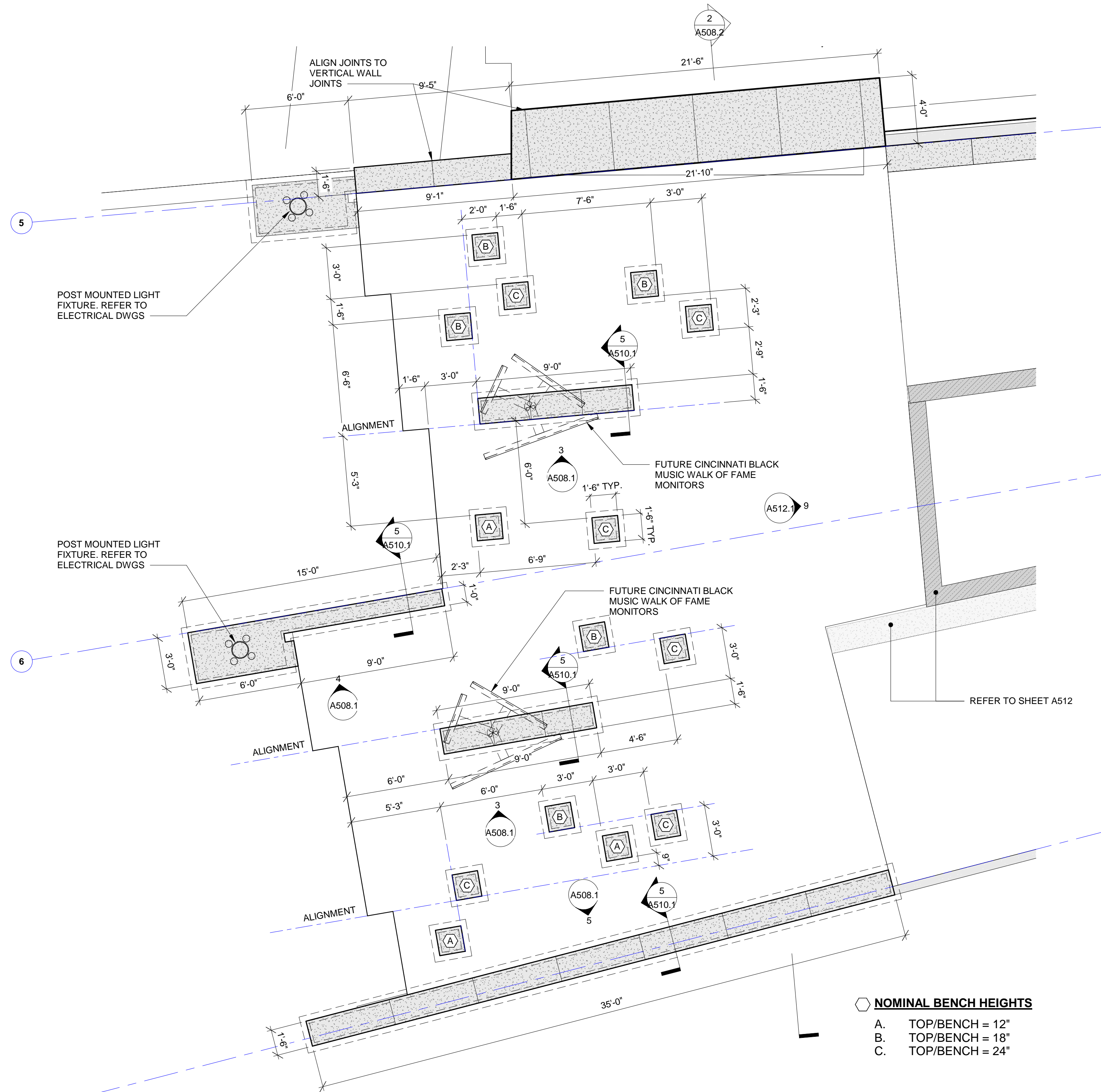
FINISHES: D10 - DIAMOND 10
RF - ROCK FACE
ANT - ANTIQUE



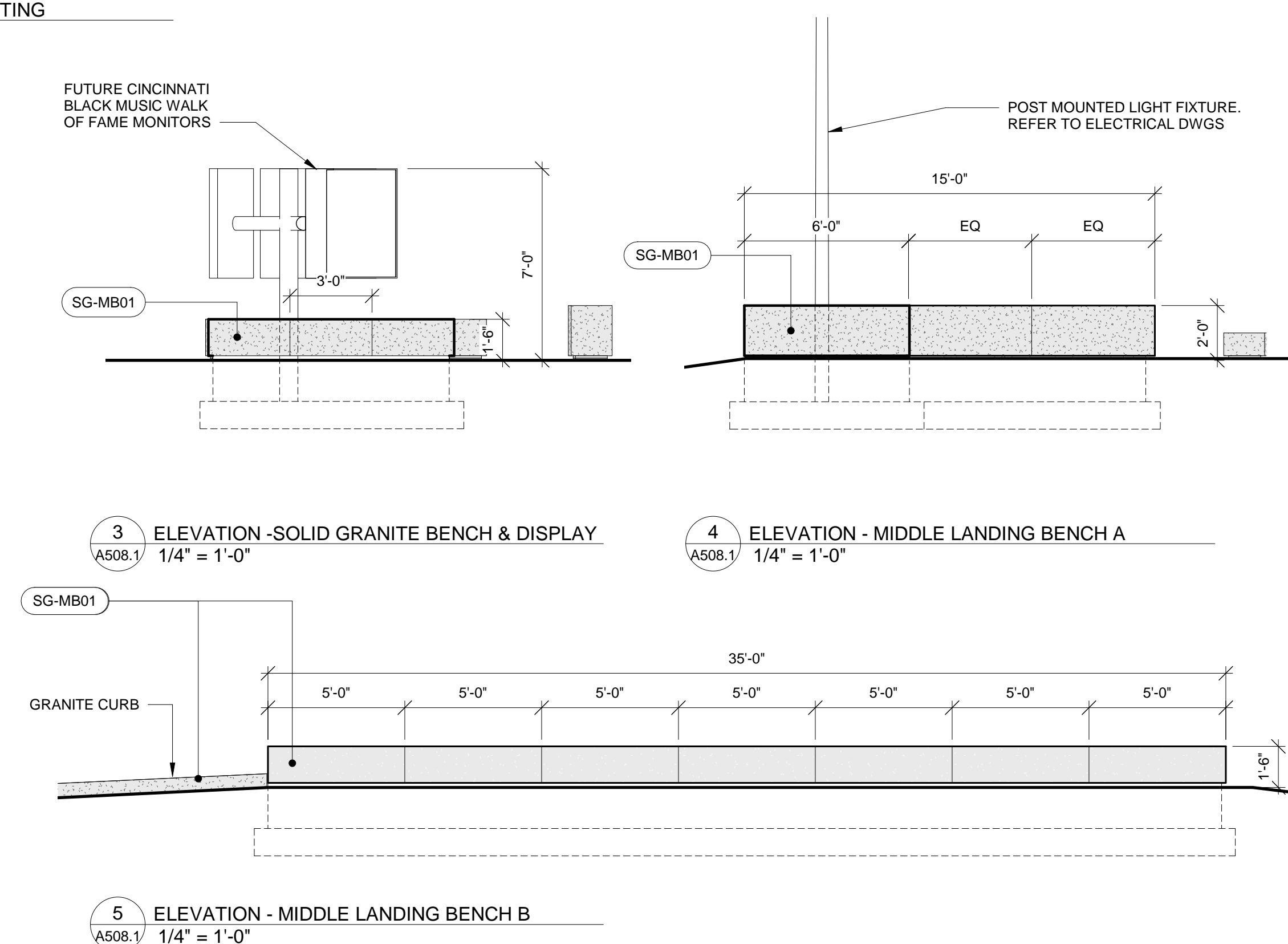
1
A372
SECTION
1 1/2" = 1'-0"



2 AXONOMETRIC - UPPER LANDING DISPLAY & SEATING
A508.1



1 ENLARGED PLAN - UPPER LANDING DISPLAY & SEATING
A508.1 1/4" = 1'-0"



3 ELEVATION - SOLID GRANITE BENCH & DISPLAY
A508.1 1/4" = 1'-0"

4 ELEVATION - MIDDLE LANDING BENCH A
A508.1 1/4" = 1'-0"

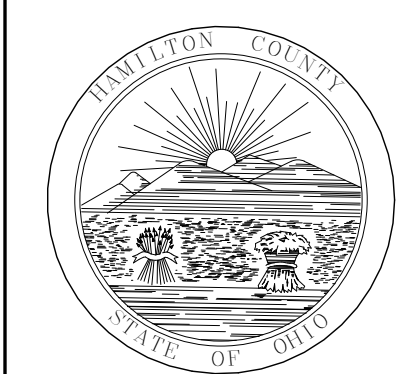
5 ELEVATION - MIDDLE LANDING BENCH B
A508.1 1/4" = 1'-0"

DRAWING NOTES

- 3/8" JOINTS TYP. BETWEEN GRANITE, REFER DETAILS

MATERIAL LEGEND

GC-MB01 2" GRANITE VENEER CLADDING; MESABI BLACK; FINISH: ANTIQUE
SG-MB01 SOLID GRANITE ELEMENT, MESABI BLACK; FINISH: ANTIQUE



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS



THP Limited, Inc.
Cincinnati, Ohio 45202
Phone: 513.241.3222
www.thpltd.com

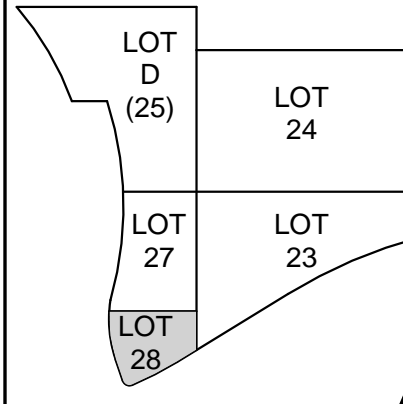


MMA
MICHAEL MCINTURFF ARCHITECTS
1116 RACE ST
CINCINNATI, OH 45203
513.639.2351 TEL
513.639.2353 FAX
WWW.MCINTURFF.COM

THIS WORK IS A PRELIMINARY
DESIGN. IT IS NOT TO BE
CONSIDERED A FINAL
DESIGN. IT IS NOT TO BE
USED FOR ANY OTHER
PURPOSES WITHOUT THE
WRITTEN CONSENT OF
THE ARCHITECT.

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUES	DATE	DESCRIPTION
1	10/01/2021	SCHEMATIC DESIGN
2	10/27/2021	BP02 PARK & GARAGE
4	07/13/2022	BP02 ADDITIONAL



DRAWN BY: Author
ARCHITECT: MM
CHECKED BY: Checker

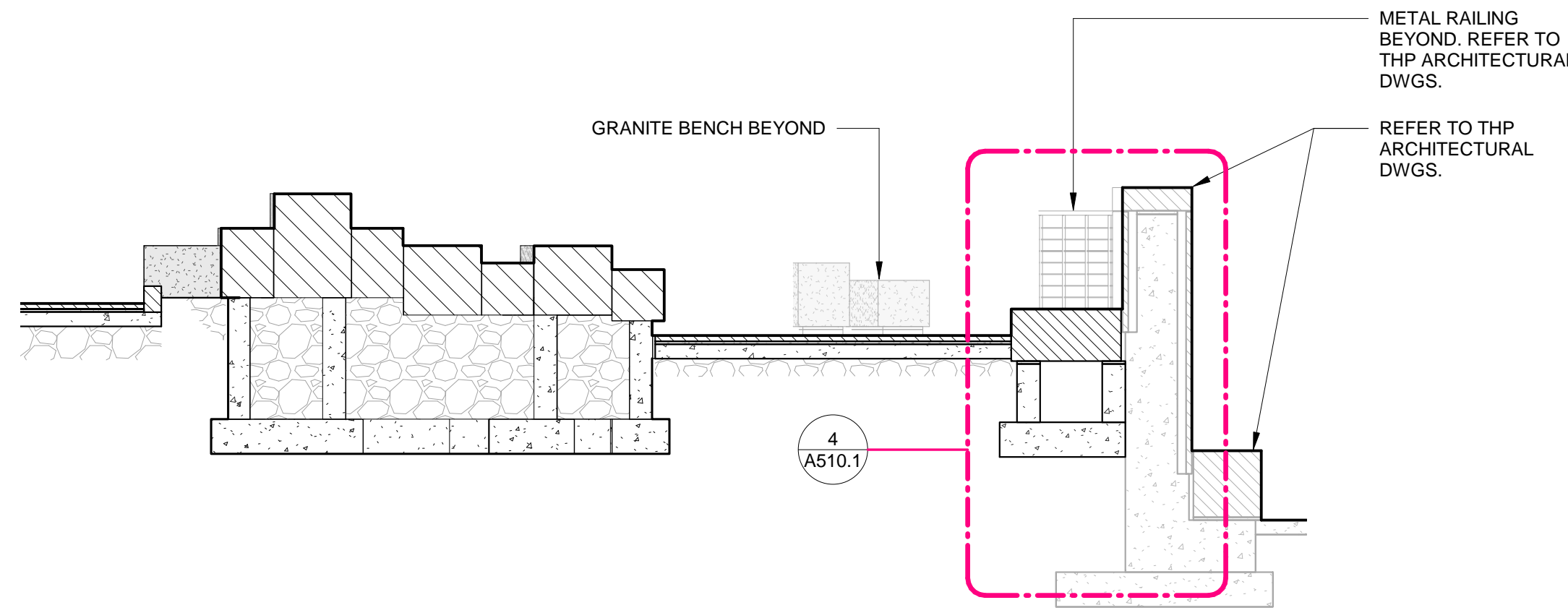


LOT 28 GARAGE
AND PARK

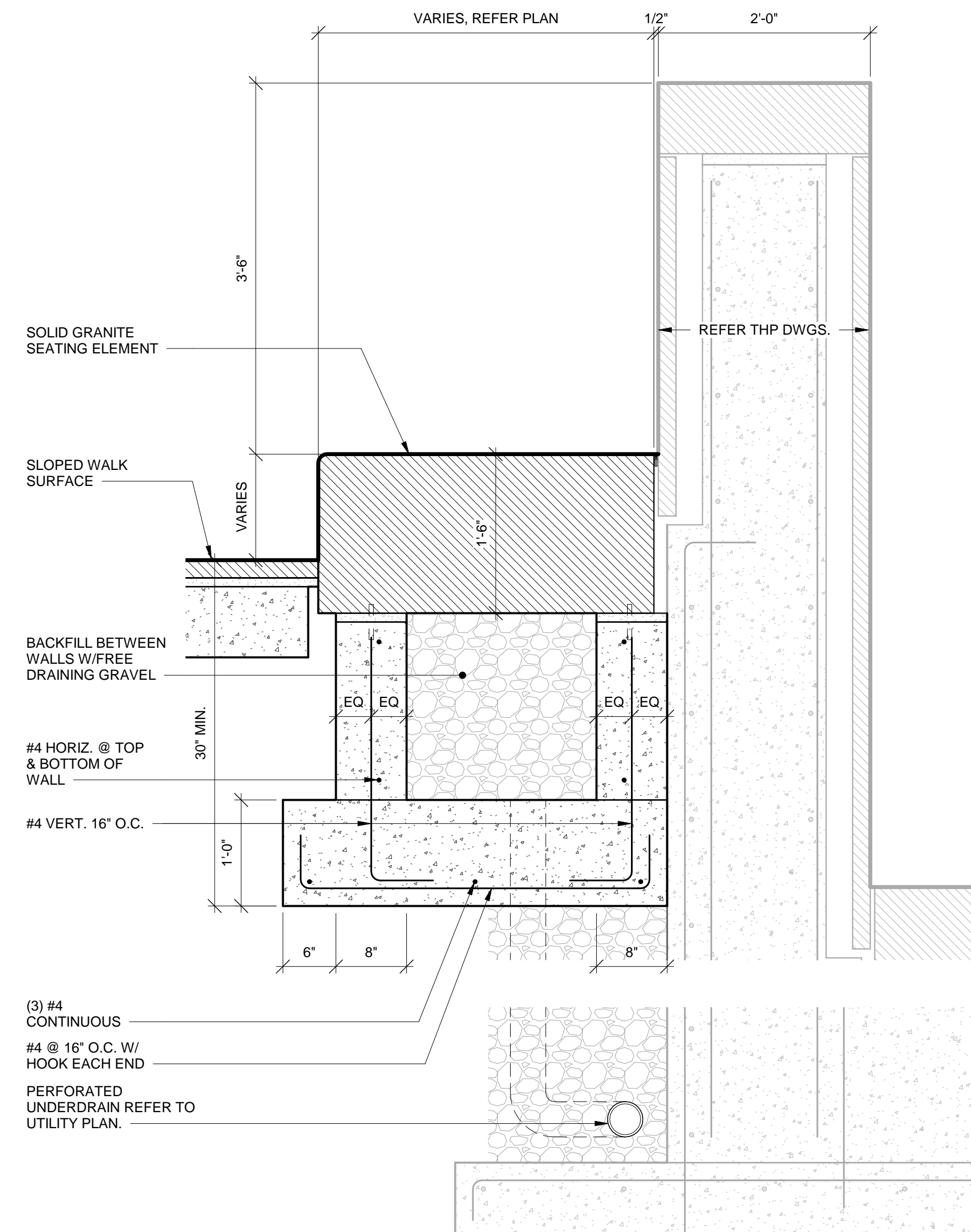
DRAWING TITLE
UPPER LANDING
DISPLAY & SEATING

JOB NUMBER DATE
98090.40 12/17/2021
DRAWING NUMBER

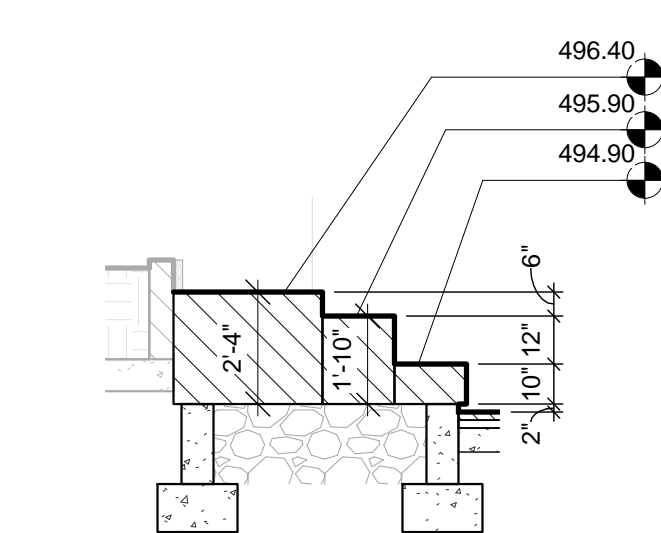
A508.1



3 SECTION - LOWER LANDING SEATING
A510.1/ 1/4" = 1'-0"



4 GRANITE BENCH DETAIL @ MEHRING WAY WALL
A510.1/ 1" = 1'-0"



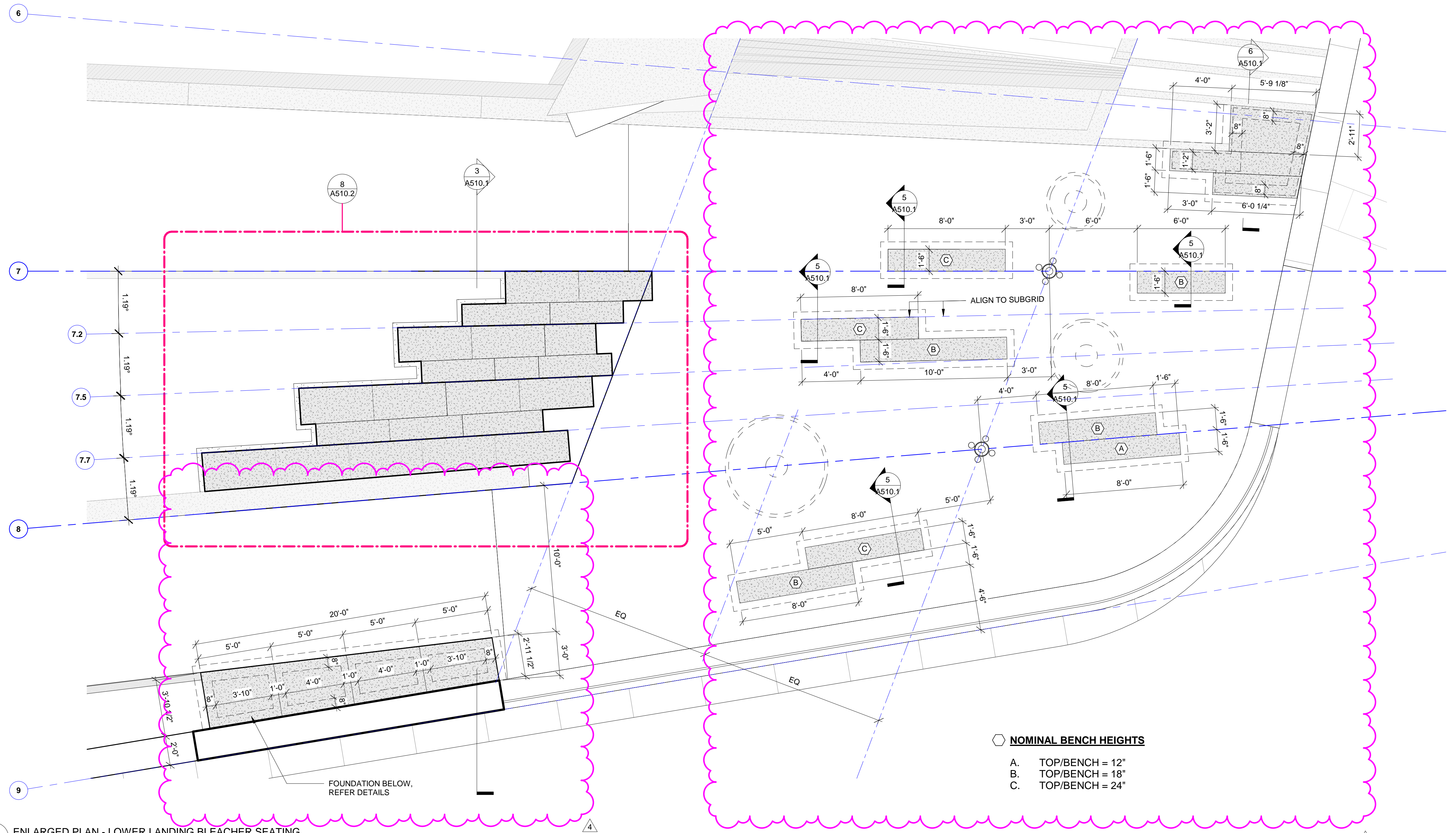
6 SECTION - EAST CLUSTER
A510.1/ 1/4" = 1'-0"

DRAWING NOTES

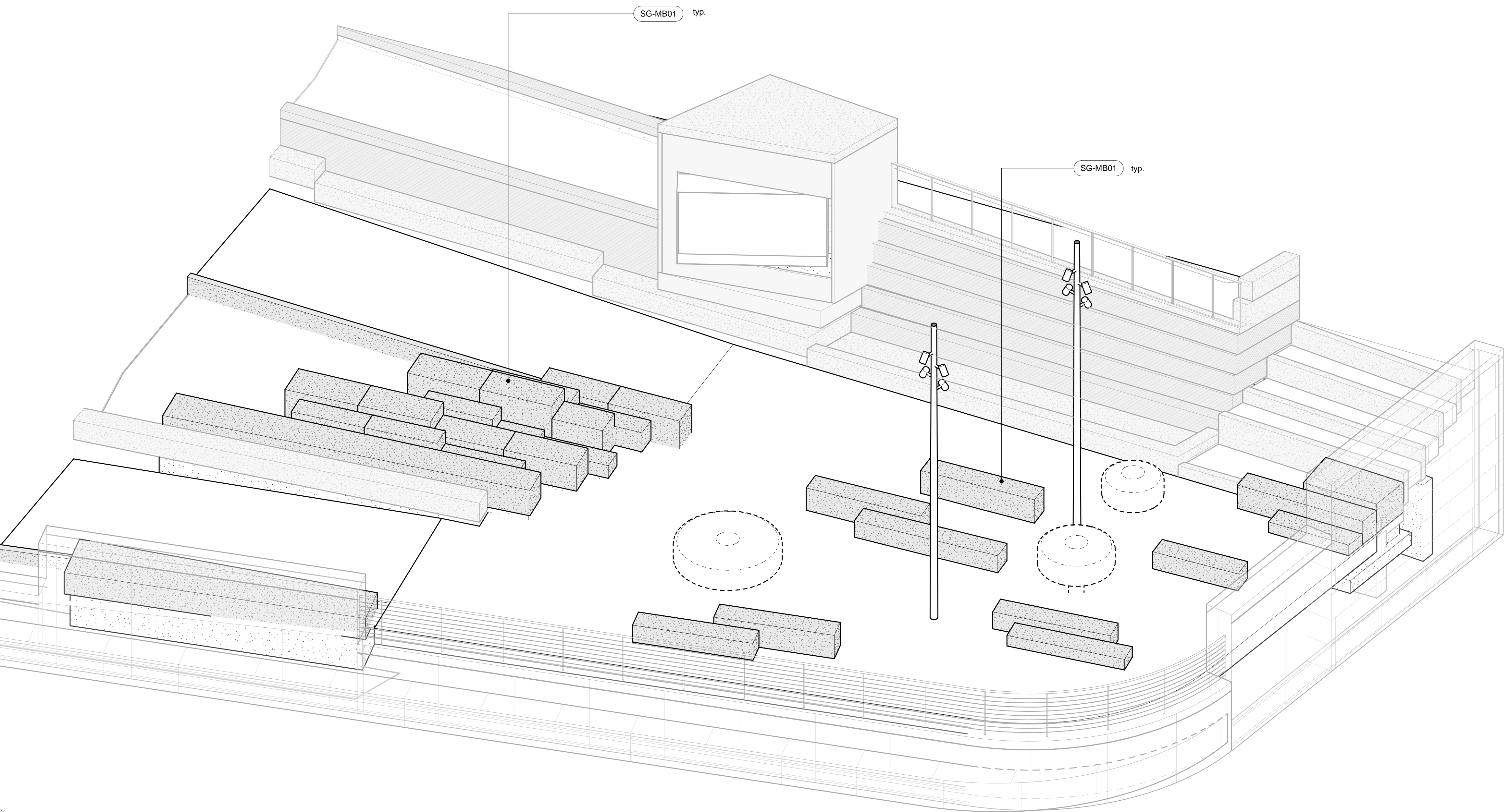
1. 3/8" JOINTS TYP. BETWEEN GRANITE, REFER DETAILS

MATERIAL LEGEND

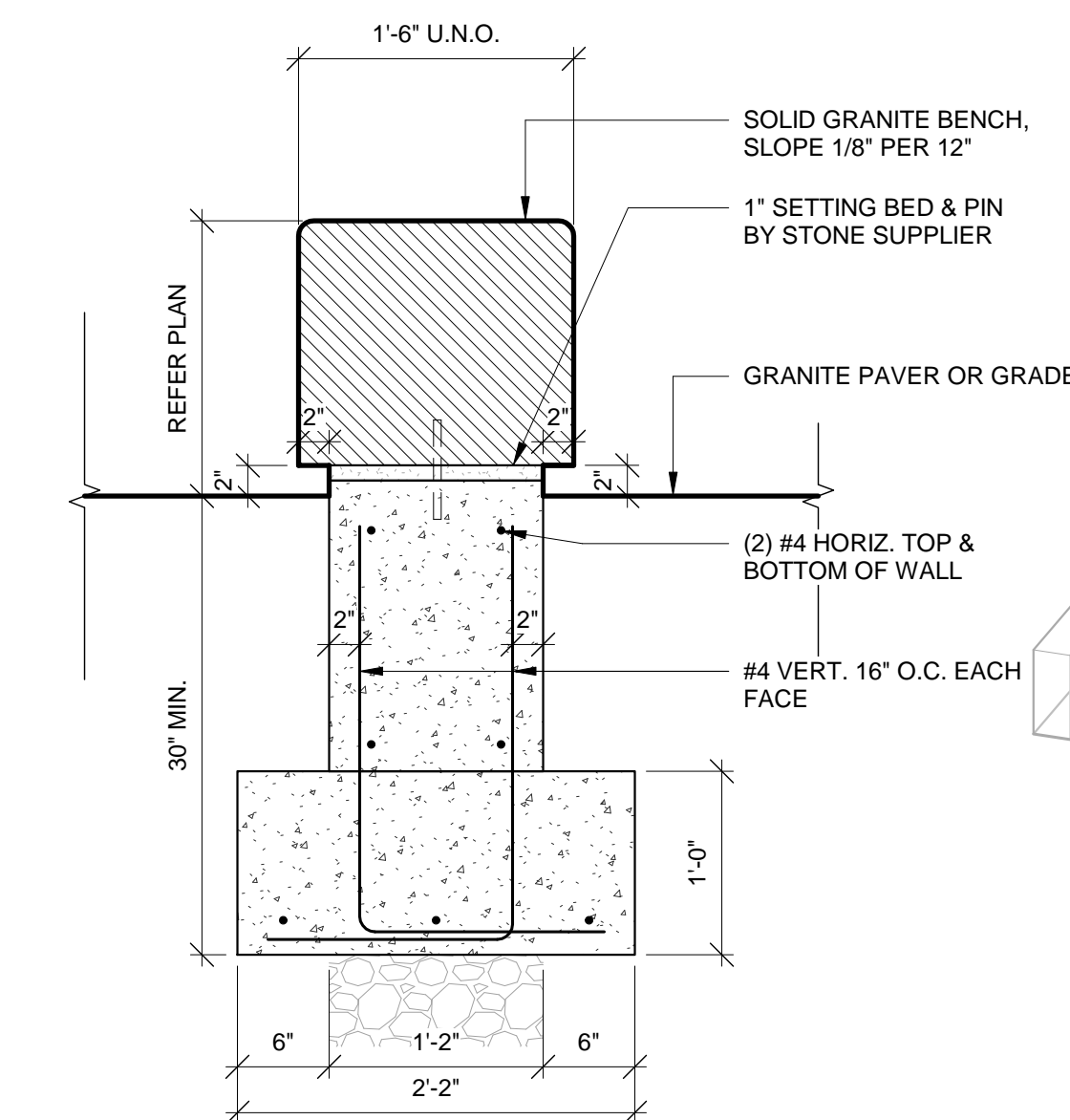
SG-MB01 SOLID GRANITE ELEMENT, MESABI BLACK, FINISH: ANTIQUE



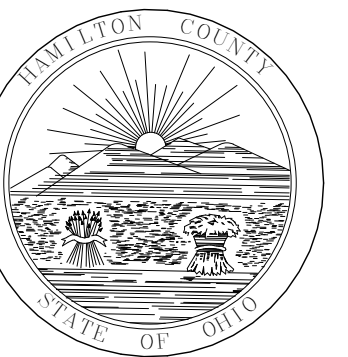
1 ENLARGED PLAN - LOWER LANDING BLEACHER SEATING
A510.1/ 1/4" = 1'-0"



2 AXONOMETRIC - LOWER LANDING BLEACHER SEATING
A510.1/ 1" = 1'-0"



5 TYP. SOLID GRANITE BENCH
A510.1/ 1" = 1'-0"



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS

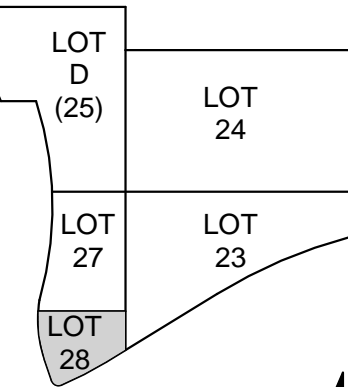
THP
THP Limited, Inc.
Cincinnati, Ohio
100 East Eighth Street
Cincinnati, Ohio 45202
Phone: 513.241.3222
www.thplid.com

MMA
MICHAEL MCINTURFF ARCHITECTS
1116 RADE ST
CINCINNATI, OH 45203
513.639.2393 TEL
513.639.2393 FAX
WWW.MCINTURFF.COM

THIS WORK IS A PRELIMINARY
DESIGN. IT IS NOT TO BE
USED FOR CONSTRUCTION
OR FOR ANY OTHER PURPOSE
WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT.
ARCHITECT'S RESPONSIBILITY
IS LIMITED TO THE
DESIGN AND CONSTRUCTION
OF THE PROJECT.

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUE	DATE	DESCRIPTION
1	10/01/2021	SCHEMATIC DESIGN
2	12/07/2021	BP02 PARK & GARAGE
4	07/13/2022	BP02 ADDITIONAL #2



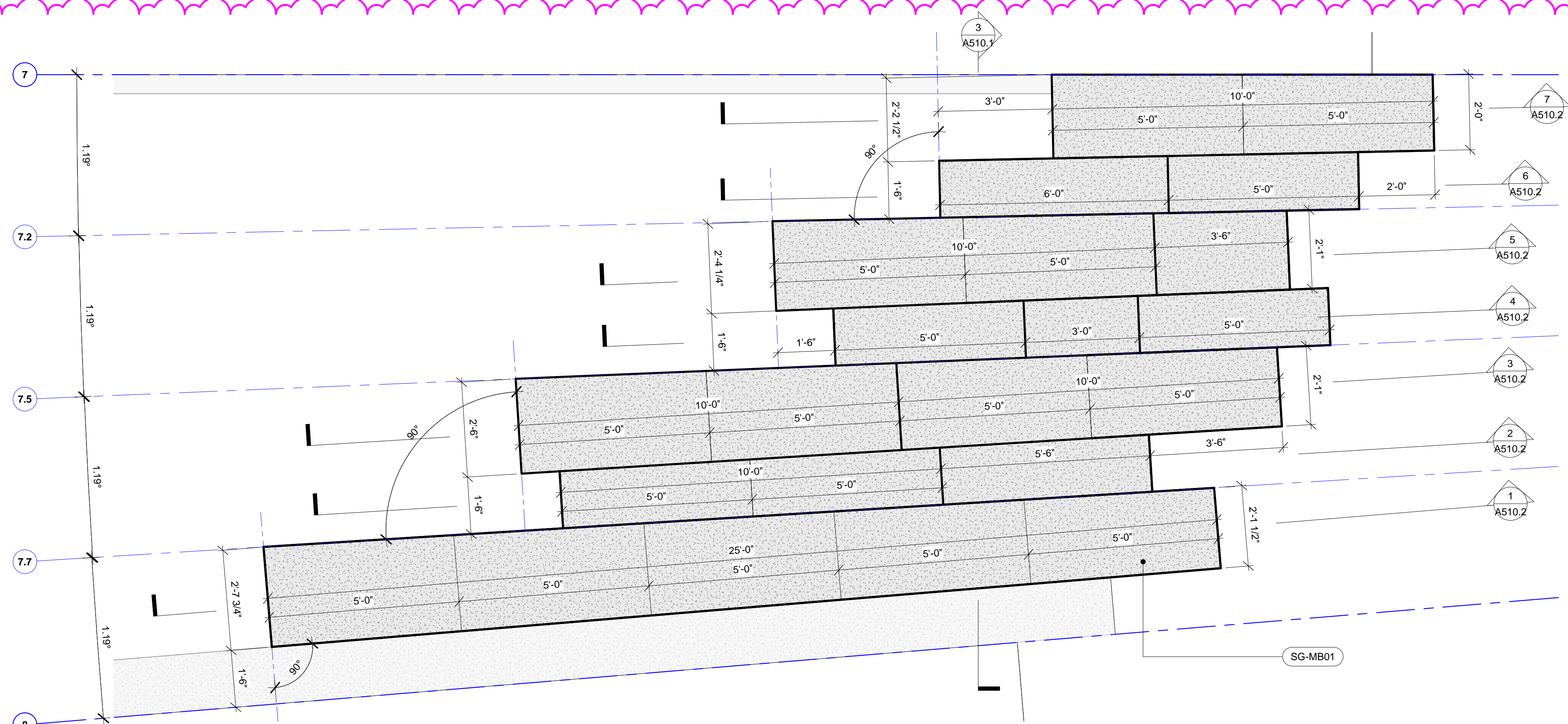
DRAWN BY: Author
ARCHITECT: MM
CHECKED BY: Checker

THE BANKS
Public Partnership
LOT 28 GARAGE
AND PARK

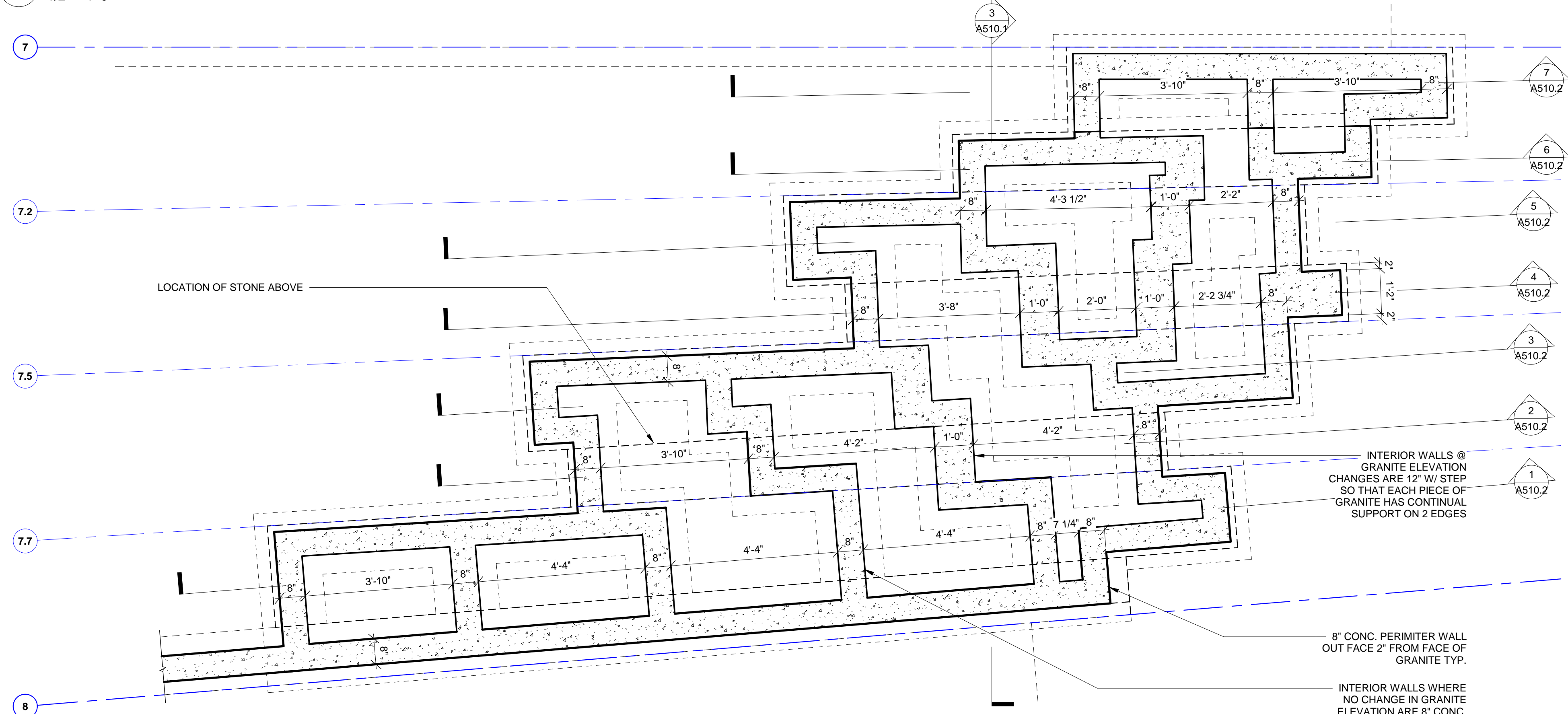
DRAWING TITLE
LOWER LANDING
BLEACHER SEATING

JOB NUMBER
98090.40
DATE
12/17/2021
DRAWING NUMBER

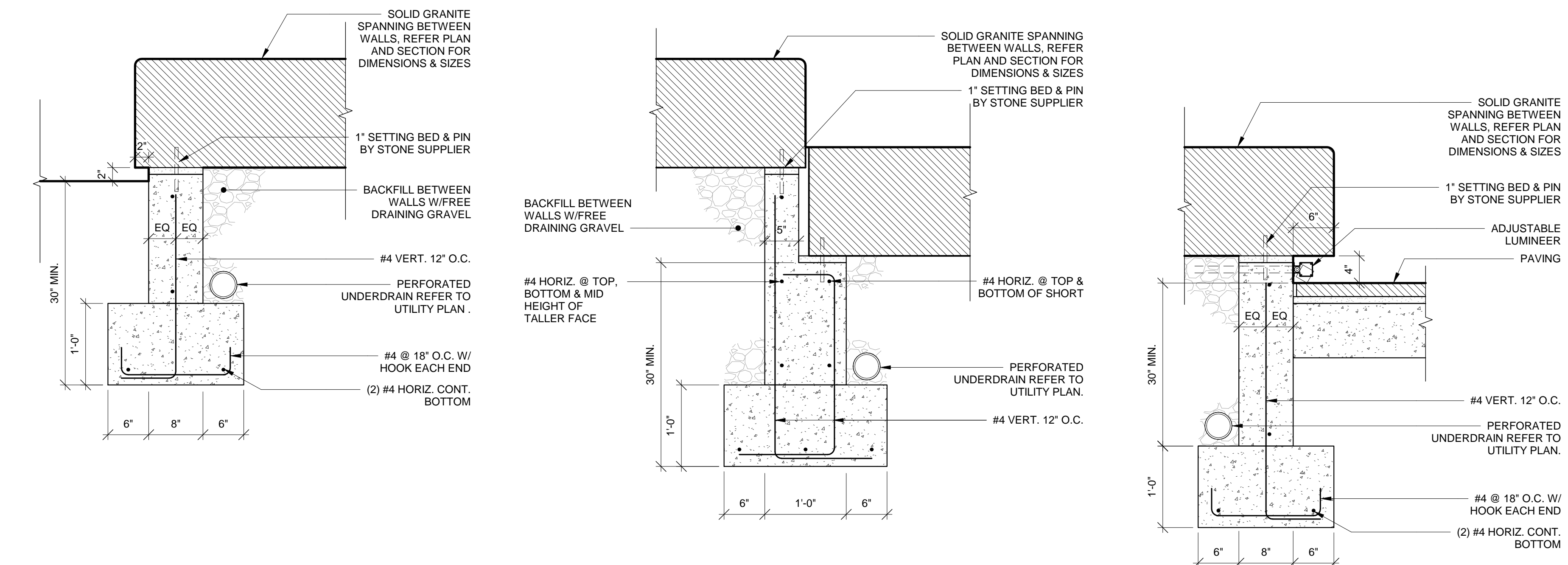
A510.1



8 BLEACHER SEATING PLAN
A510.2 1/2" = 1'-0"



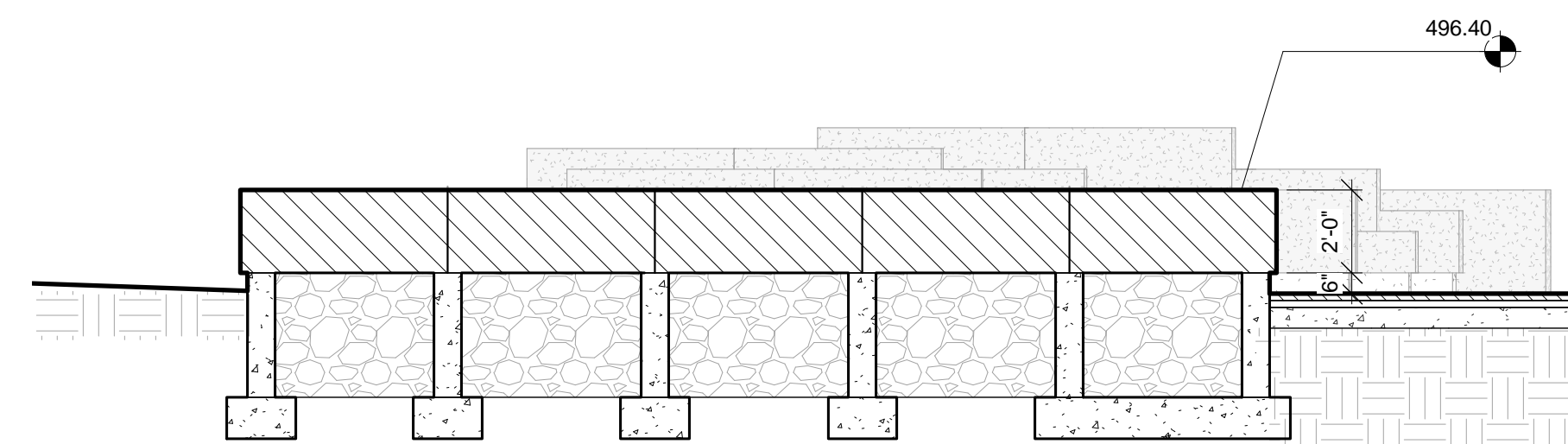
9 BLEACHER SEATING FOUNDATION PLAN
A510.2 1/2" = 1'-0"



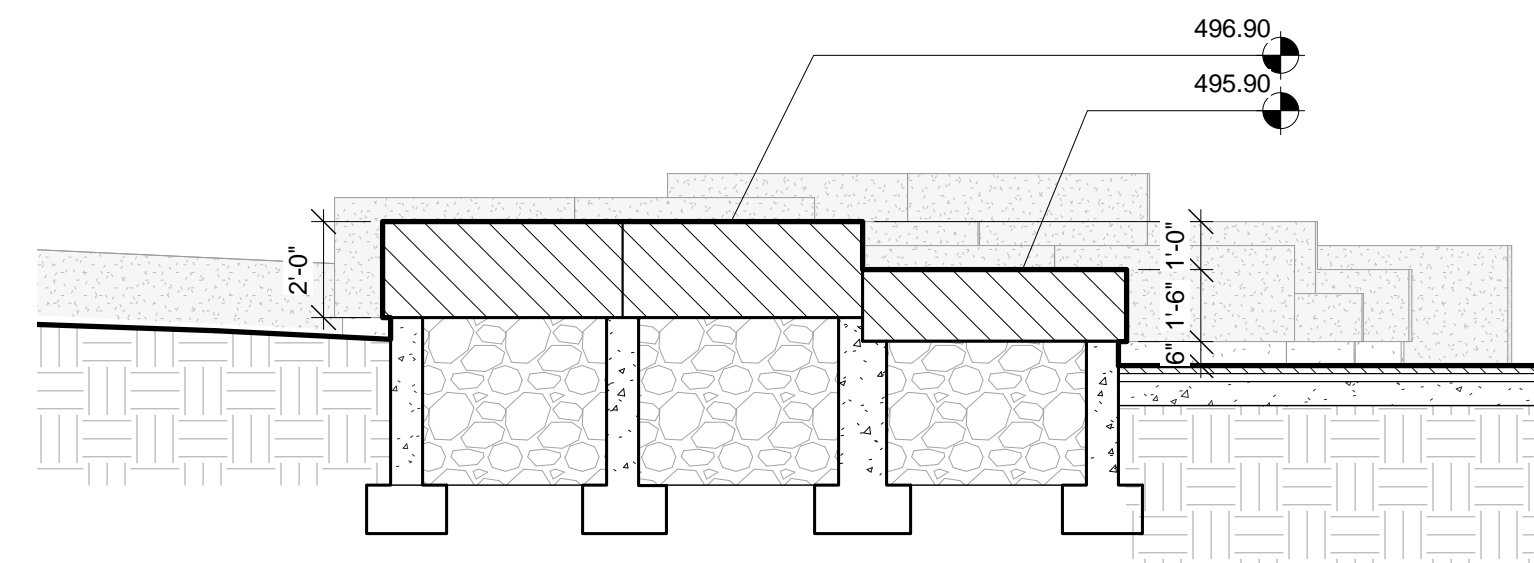
11 TYP. PERIMETER WALL @ GRADE SIDE
A510.2 1" = 1'-0"

10 TYP. INTERIOR WALL @ LOWER LANDING BLEACHER
A510.2 1" = 1'-0"

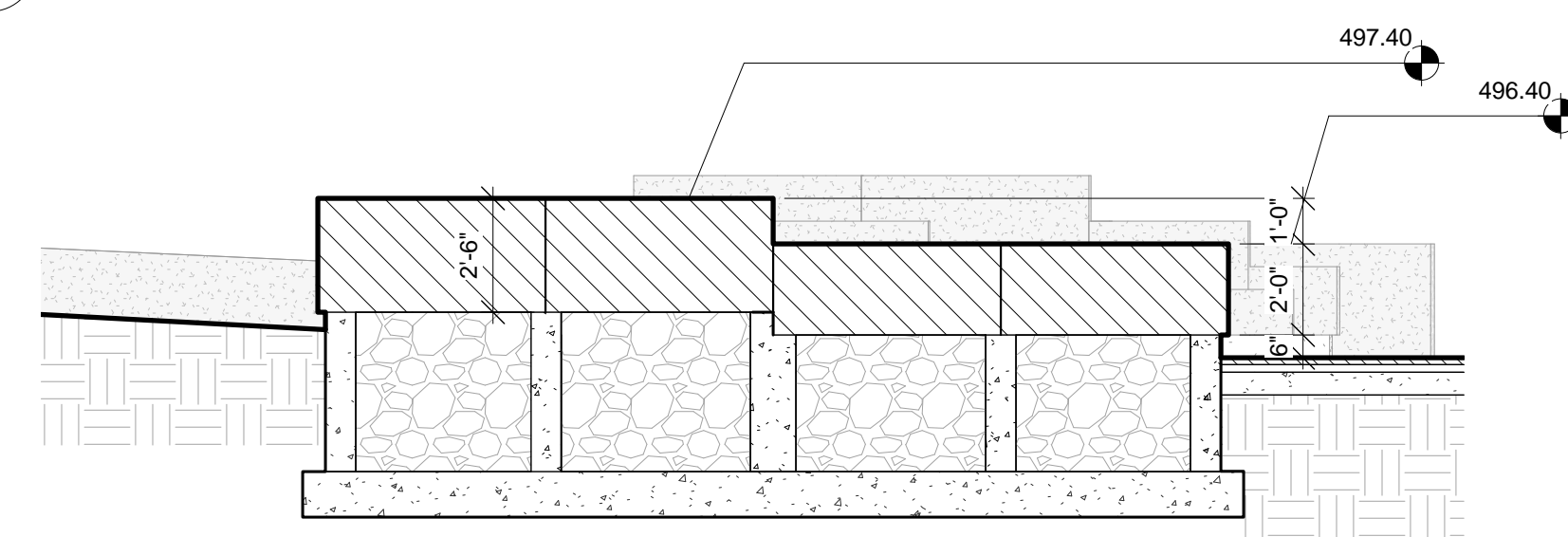
12 TYP. PERIMETER WALL @ PLAZA SIDE
A510.2 1" = 1'-0"



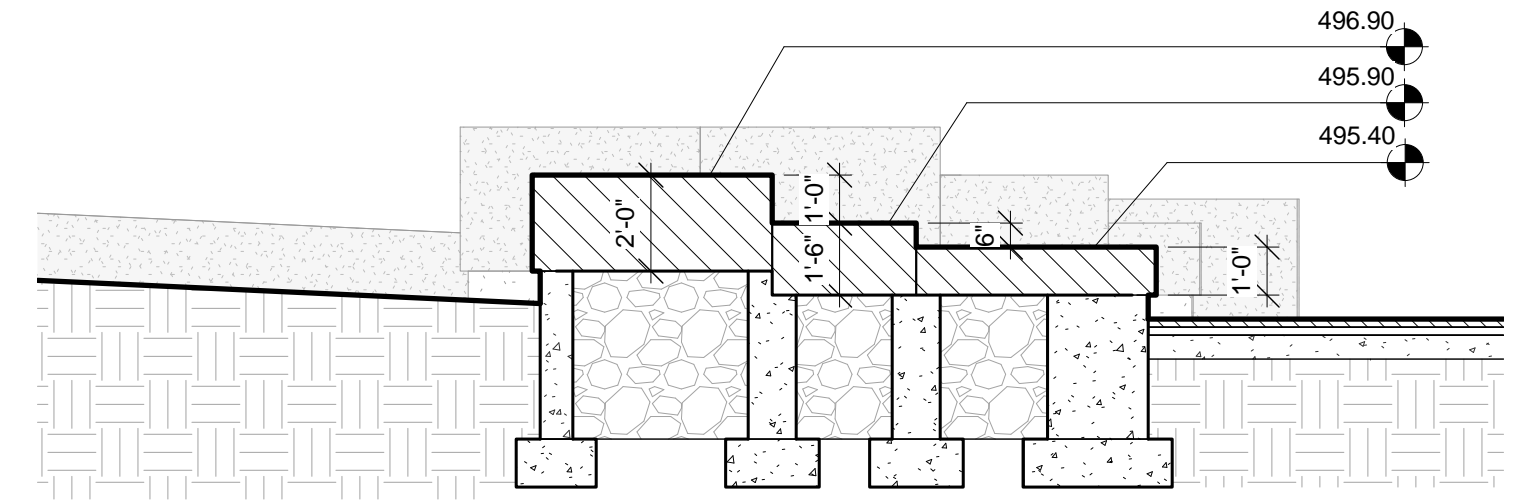
1 BLEACHER SECTION 1
A510.2 1/4" = 1'-0"



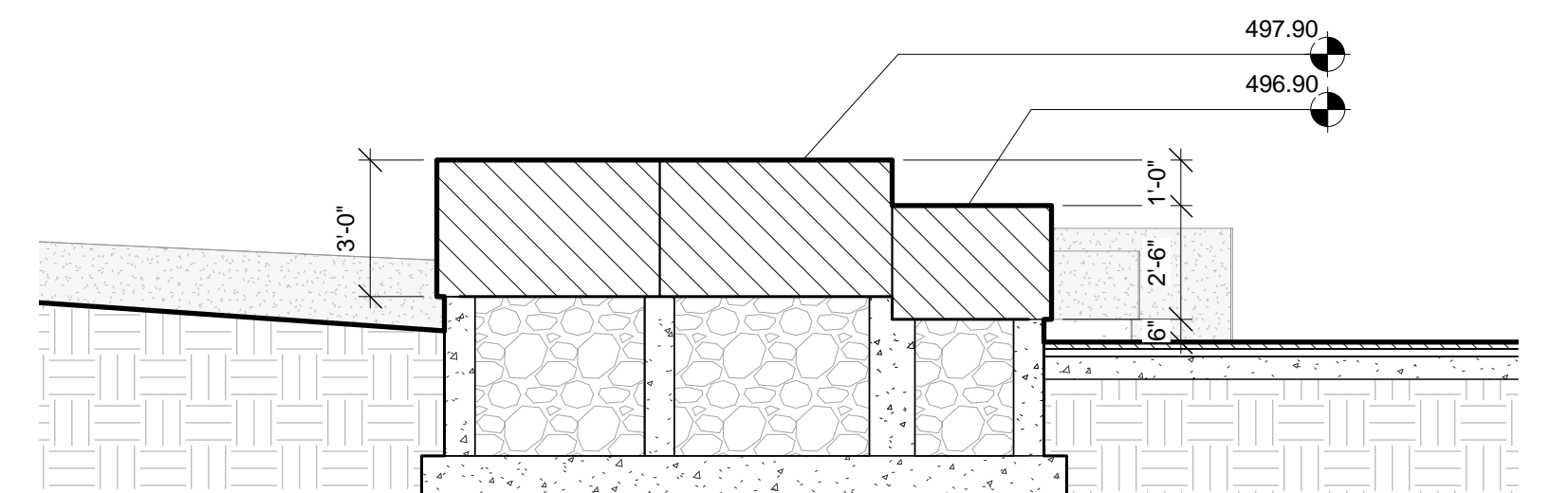
2 BLEACHER SECTION 2
A510.2 1/4" = 1'-0"



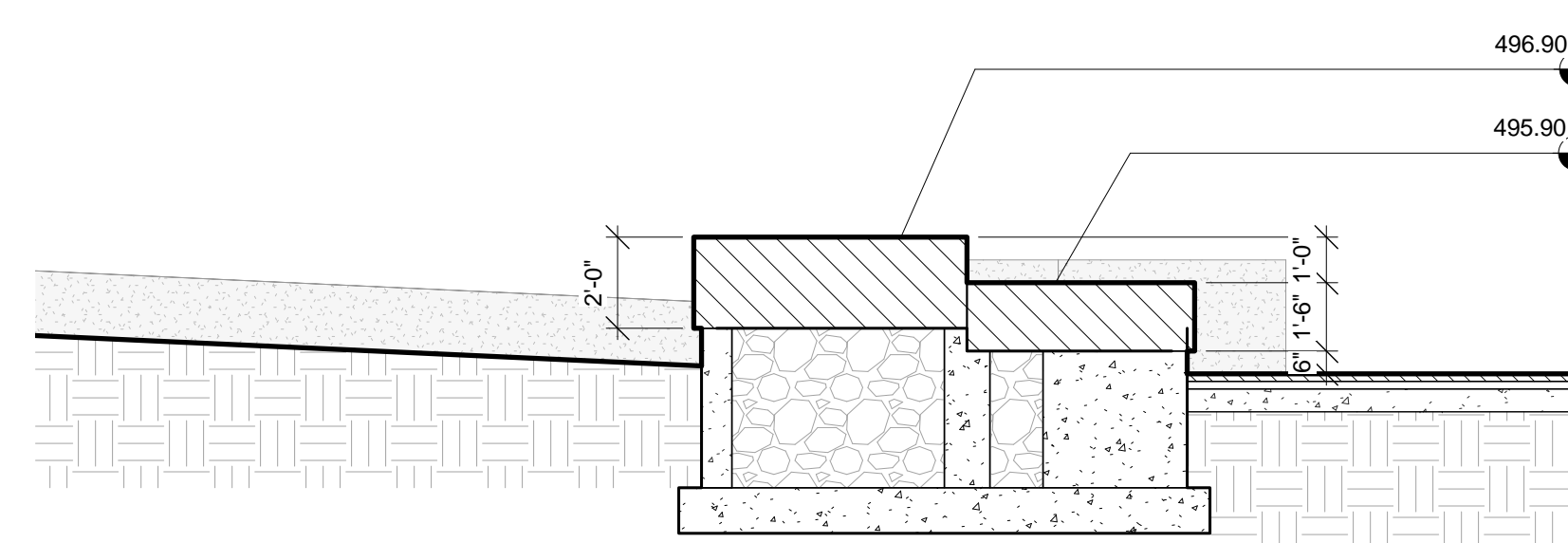
3 BLEACHER SECTION 3
A510.2 1/4" = 1'-0"



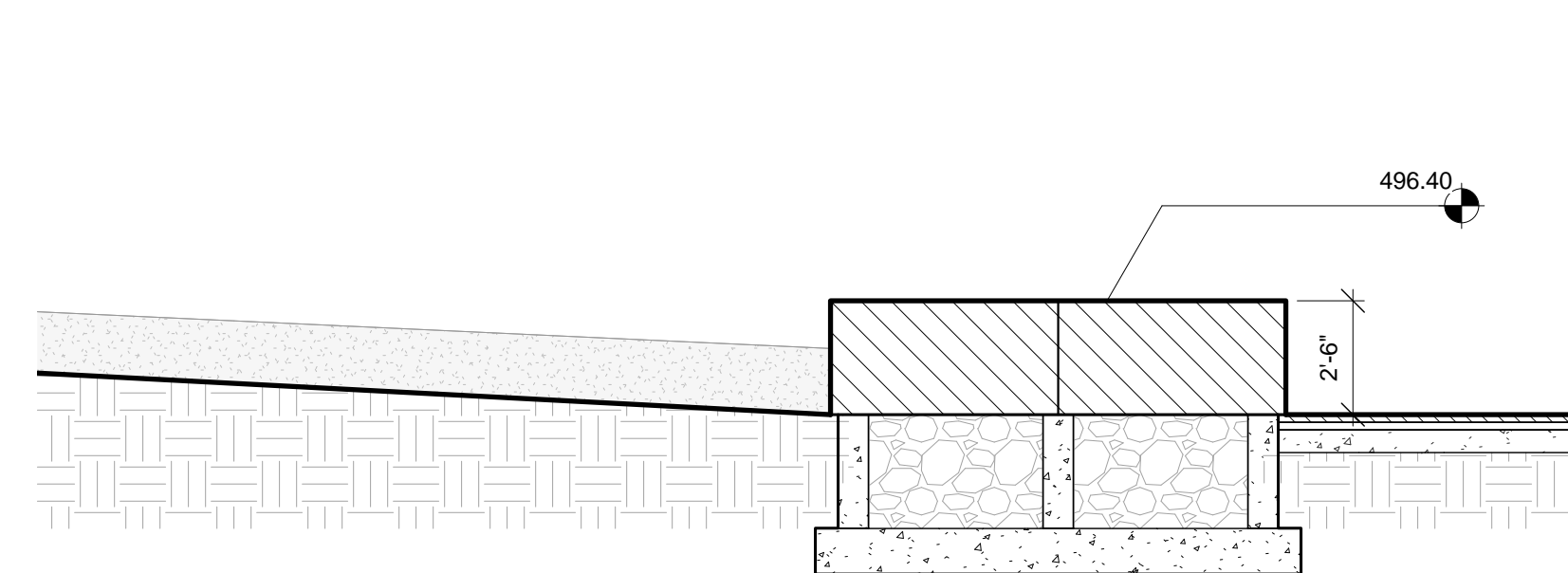
4 BLEACHER SECTION 4
A510.2 1/4" = 1'-0"



5 BLEACHER SECTION 5
A510.2 1/4" = 1'-0"



6 BLEACHER SECTION 6
A510.2 1/4" = 1'-0"



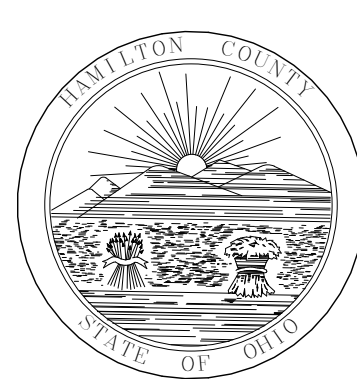
7 BLEACHER SECTION 7
A510.2 1/4" = 1'-0"

DRAWING NOTES

- 3/8" JOINTS TYP. BETWEEN GRANITE, REFER DETAILS

MATERIAL LEGEND

SG-MB01 SOLID GRANITE ELEMENT; MESABI BLACK; FINISH: ANTIQUE



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS

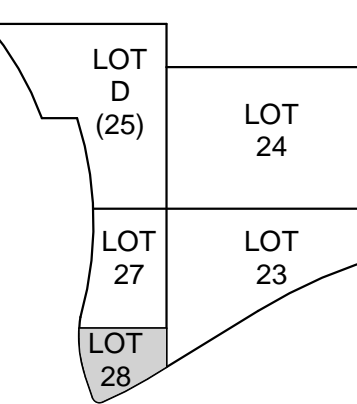
THP
THP Limited, Inc.
Cincinnati, Ohio
100 East Eighth Street
Cincinnati, Ohio 45202
Phone: 513.241.3222
www.thplid.com

MMA
MICHAEL MCINTURFF ARCHITECTS
1116 RADE ST
CINCINNATI, OH 45203
513.639.2393 TEL
513.639.2393 FAX
WWW.MCINTURFF.COM

THIS WORK IS A PRELIMINARY
DESIGN. IT IS NOT TO BE
USED FOR CONSTRUCTION.
IT IS THE RESPONSIBILITY OF
THE CLIENT TO OBTAIN ALL
NECESSARY PERMITS AND
APPROVALS. THE ARCHITECT
DOES NOT WARRANT THE
ACCURACY OF THE INFORMATION
PROVIDED.

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUES	NO.	DATE	DESCRIPTION
1	10/1/2021	SCHEMATIC DESIGN	
2	10/1/2021	BP02 PARK & GARAGE	
4	07/13/2022	BP02 ARCHITECTURE	



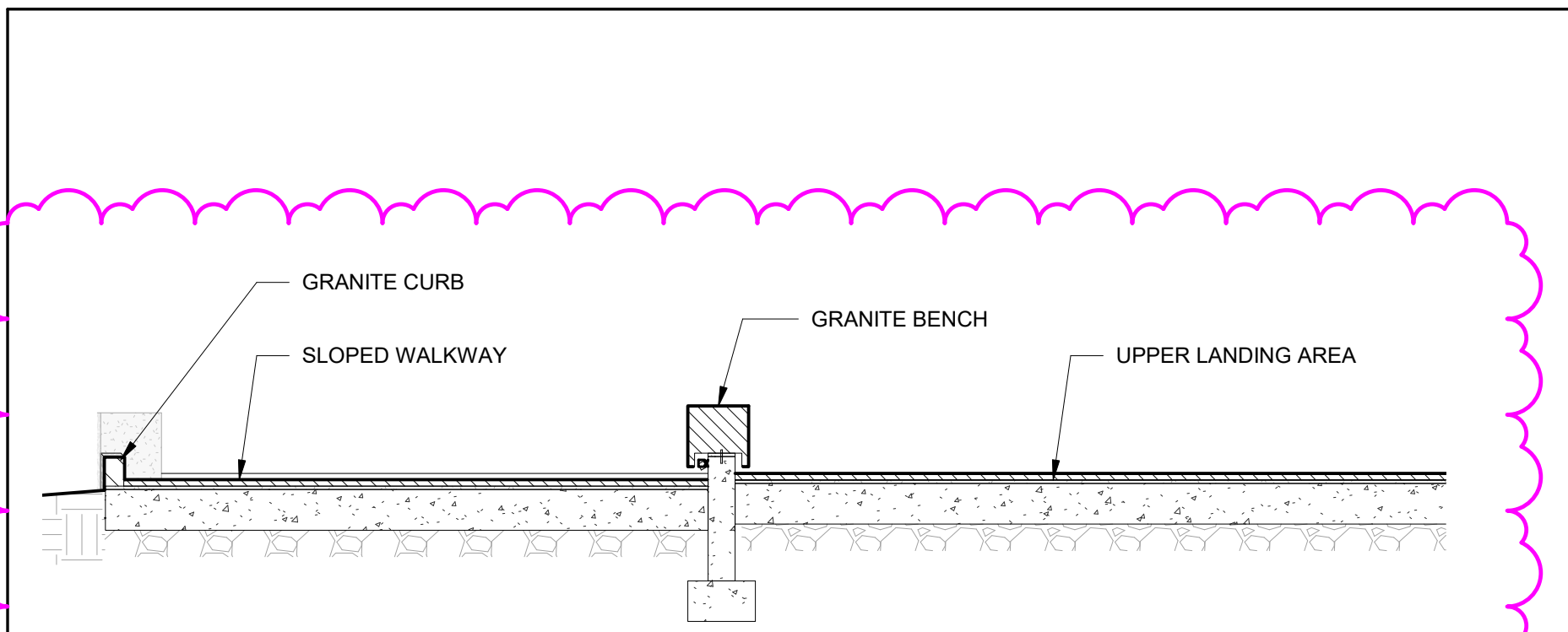
DRAWN BY: Author
ARCHITECT: MM
CHECKED BY: Checker

THE BANKS
Public Partnership

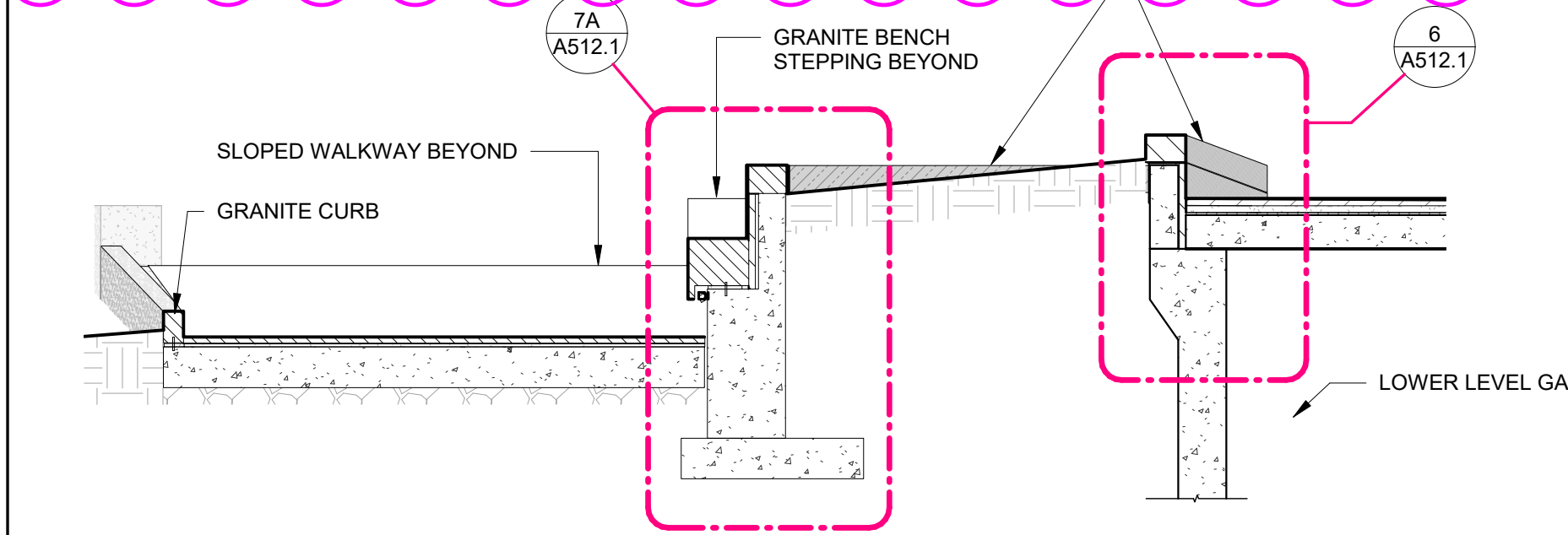
LOT 28 GARAGE
AND PARK

DRAWING TITLE
LOWER LANDING
BLEACHER SEATING
JOB NUMBER
98090.40
DATE
12/17/2021
DRAWING NUMBER

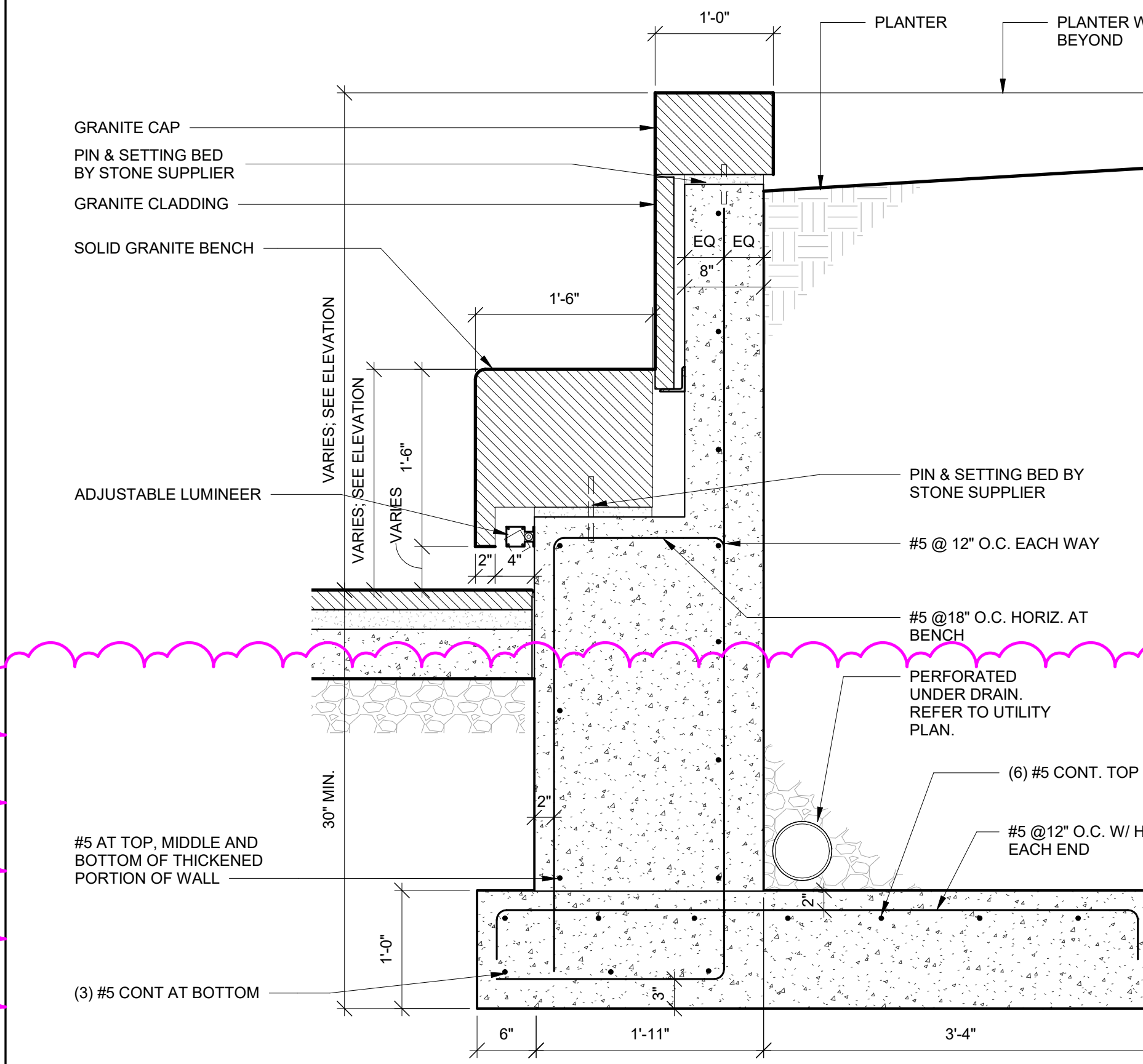
A510.2



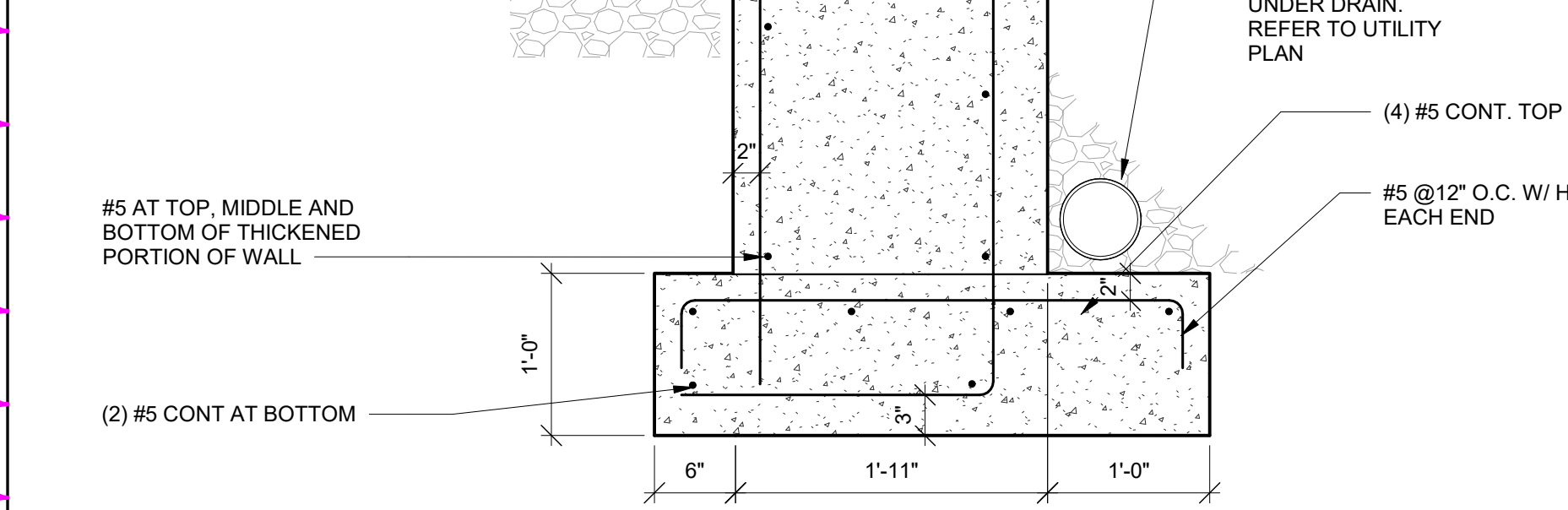
8 SECTION - STEPPED BENCH & PLANTER @ MIDDLE WALK
A512.1 1/4" = 1'-0"



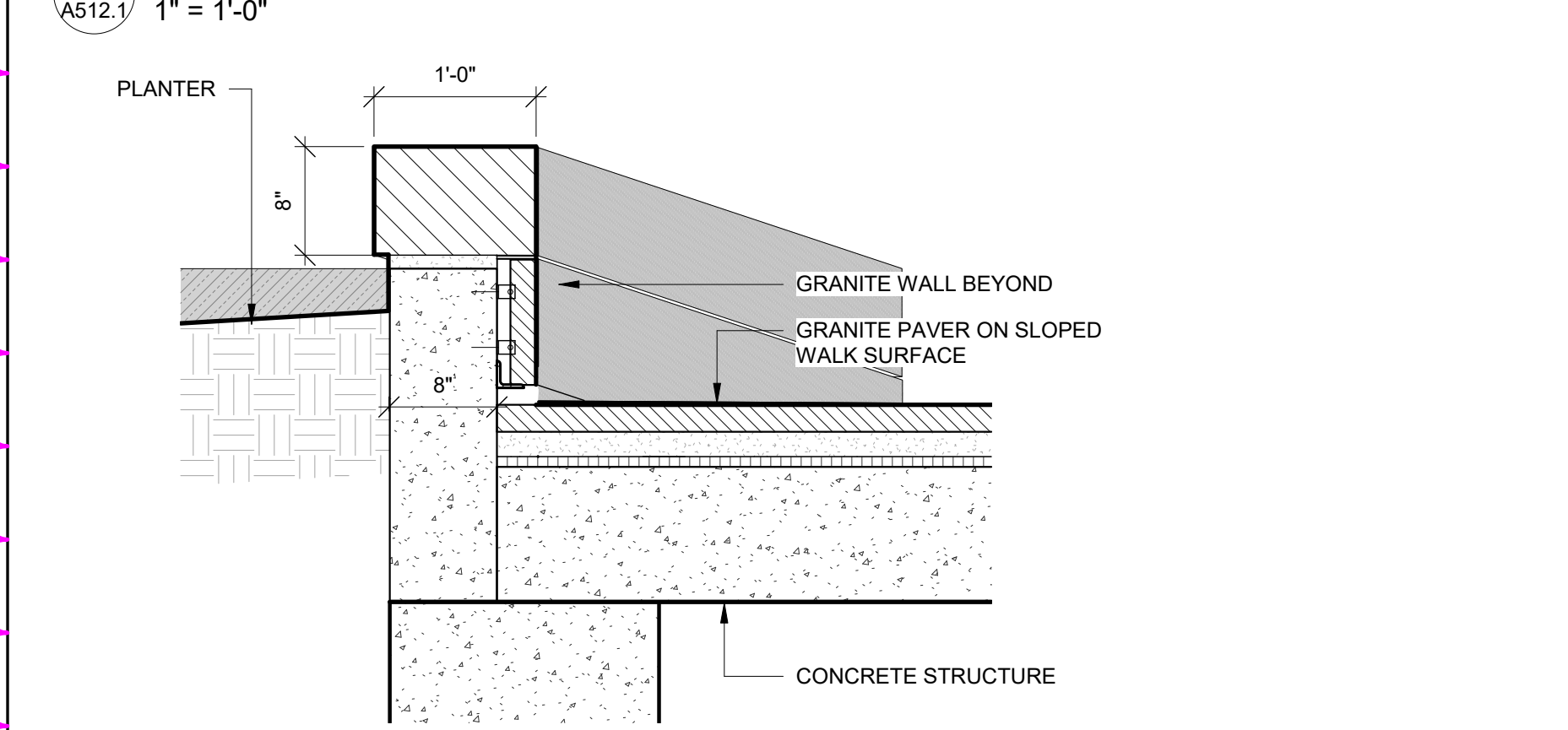
5 SECTION - STEPPED BENCH & PLANTER @ MIDDLE WALK
A512.1 1/4" = 1'-0"



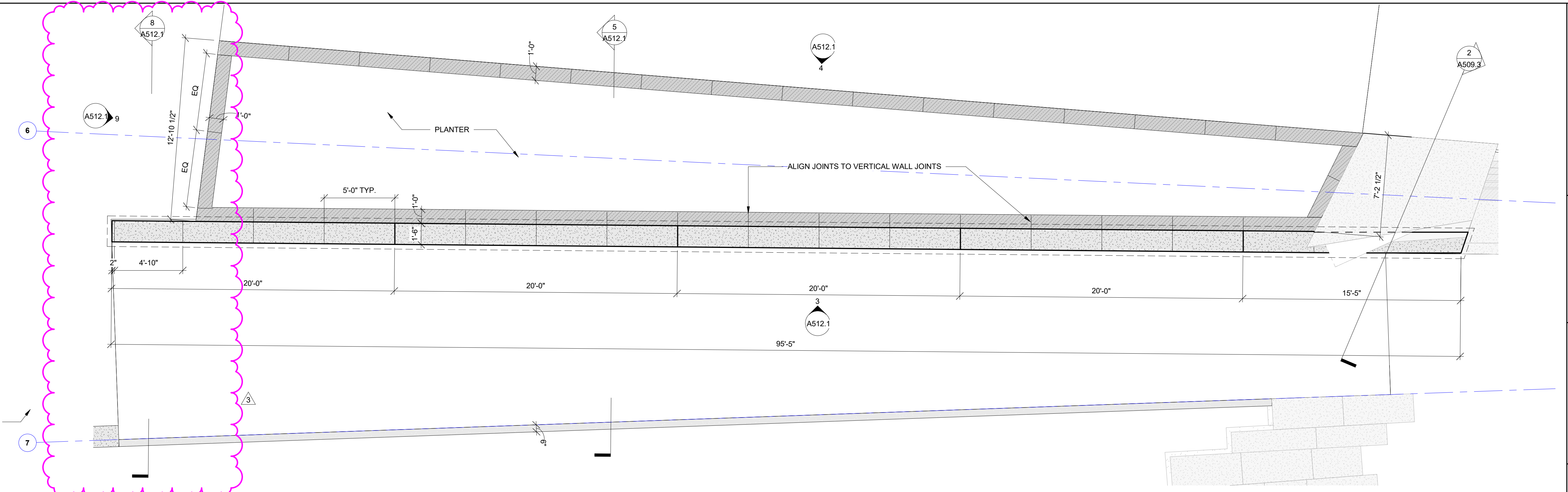
7A SECTION - STEPPED BENCH & PLANTER @ MIDDLE WALK
A512.1 1" = 1'-0"



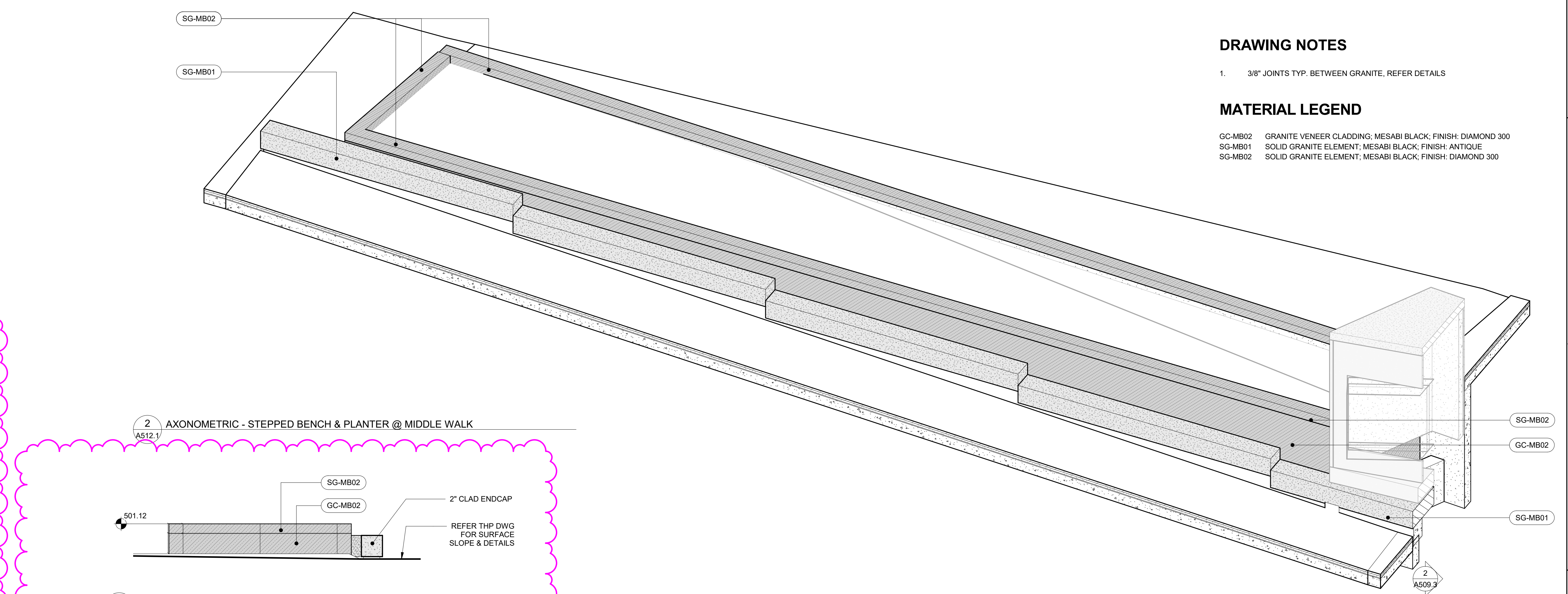
7B SECTION - STEPPED BENCH & PLANTER @ MIDDLE WALK ALT.
A512.1 1" = 1'-0"



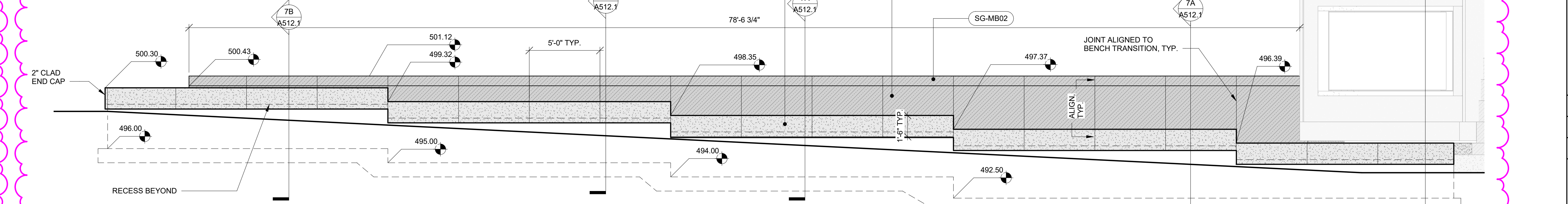
6 SECTION - STEPPED BENCH & PLANTER @ MIDDLE WALK
A512.1 1" = 1'-0"



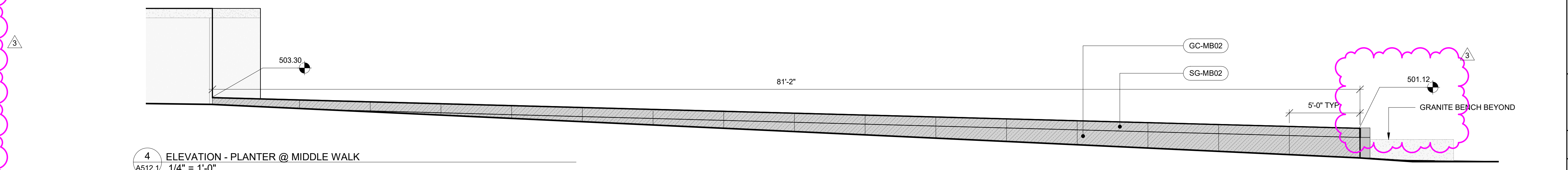
1 ENLARGED PLAN - STEPPED BENCH & PLANTER @ MIDDLE WALK
A512.1 1/4" = 1'-0"



2 AXONOMETRIC - STEPPED BENCH & PLANTER @ MIDDLE WALK
A512.1 1/4" = 1'-0"



9 ELEVATION - PLANTER WEST WALL
A512.1 1/4" = 1'-0"




3 ELEVATION - STEPPED BENCH @ MIDDLE WALK
A512.1 1/4" = 1'-0"

DRAWING NOTES


1. 3/8" JOINTS TYP. BETWEEN GRANITE, REFER DETAILS

MATERIAL LEGEND


- GC-MB02 GRANITE VENEER CLADDING; MESABI BLACK; FINISH: DIAMOND 300
SG-MB01 SOLID GRANITE ELEMENT; MESABI BLACK; FINISH: ANTIQUE
SG-MB02 SOLID GRANITE ELEMENT; MESABI BLACK; FINISH: DIAMOND 300



HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS



THP Limited, Inc.
Cincinnati, Ohio
100 East Eighth Street
Cincinnati, Ohio 45202
Phone: 513.241.3222
www.thpld.com

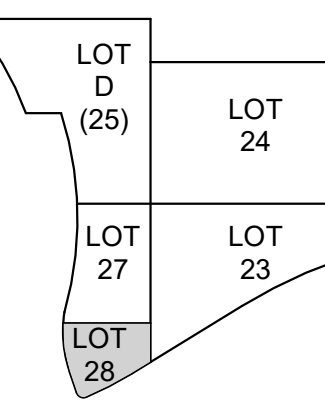


MMA
MICHAEL MCINTURFF ARCHITECTS
1116 RADE ST
CINCINNATI, OH 45203
513.639.2391 TEL
513.639.2393 FAX
WWW.MCINTURFF.COM

THIS WORK IS A PRELIMINARY
DESIGN. IT IS NOT TO BE
USED FOR CONSTRUCTION
OR FOR ANY OTHER PURPOSE
WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT.
THE ARCHITECT SHALL NOT
BE RESPONSIBLE FOR ANY
CONSEQUENCES OF THE
USE OF THIS WORK FOR
ANY OTHER PURPOSE.


PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUES	NO.	DATE	DESCRIPTION
1	10/01/2021	10/01/2021	SCHEMATIC DESIGN
2	10/17/2021	10/17/2021	BP02 PARK & GARAGE
3	01/13/2022	01/13/2022	BP02 ADDITIONAL



LOT 24
LOT 23
LOT 27
LOT 28
LOT D (25)

DRAWN BY: Author
ARCHITECT: MM
CHECKED BY: Checker



THE BANKS
Public Partnership

LOT 28 GARAGE
AND PARK

DRAWING TITLE
STEPPED BENCH &
PLANTER @ MIDDLE
WALK

JOB NUMBER
98090.40

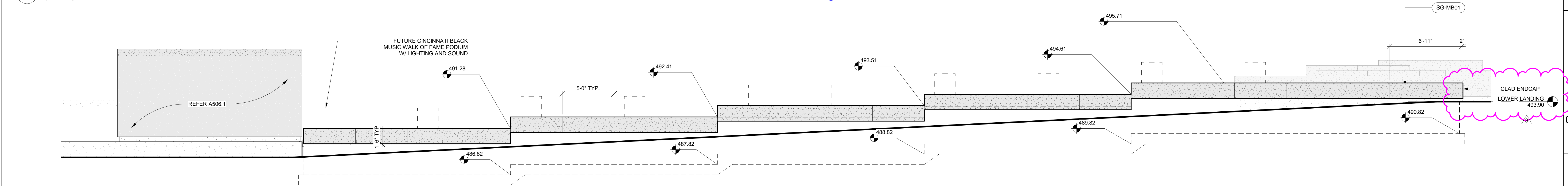
DATE
12/17/2021

DRAWING NUMBER
A512.1

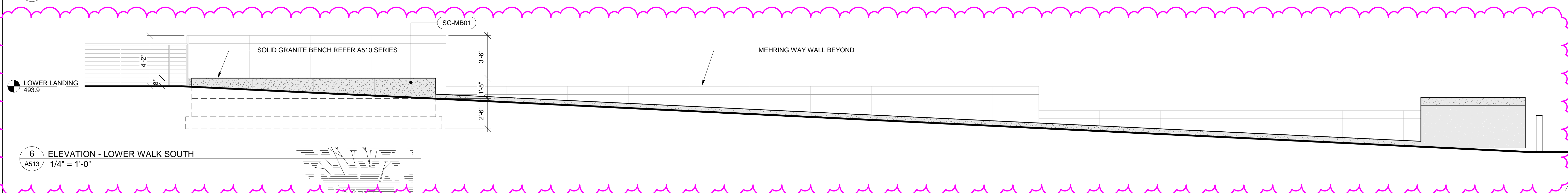
PRELIMINARY
NOT FOR
CONSTRUCTION



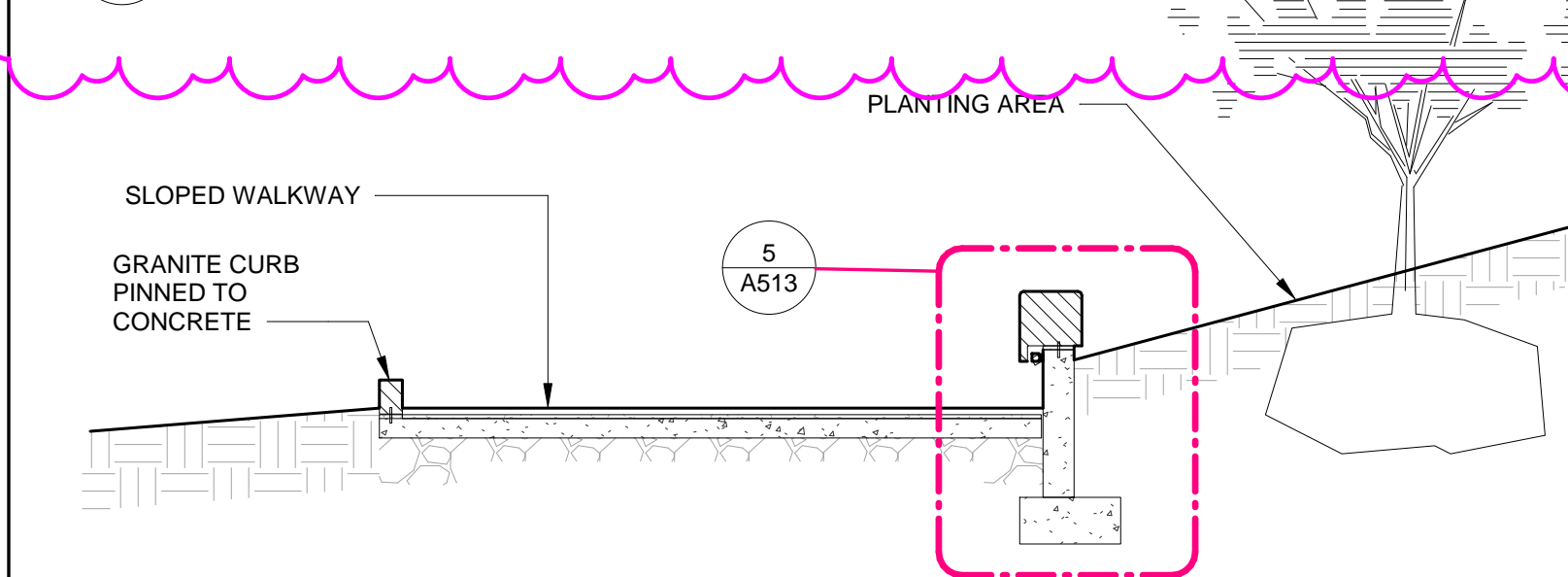
1 ENLARGED PLAN - STEPPED BENCH @ LOWER WALK
A513 1/4" = 1'-0"



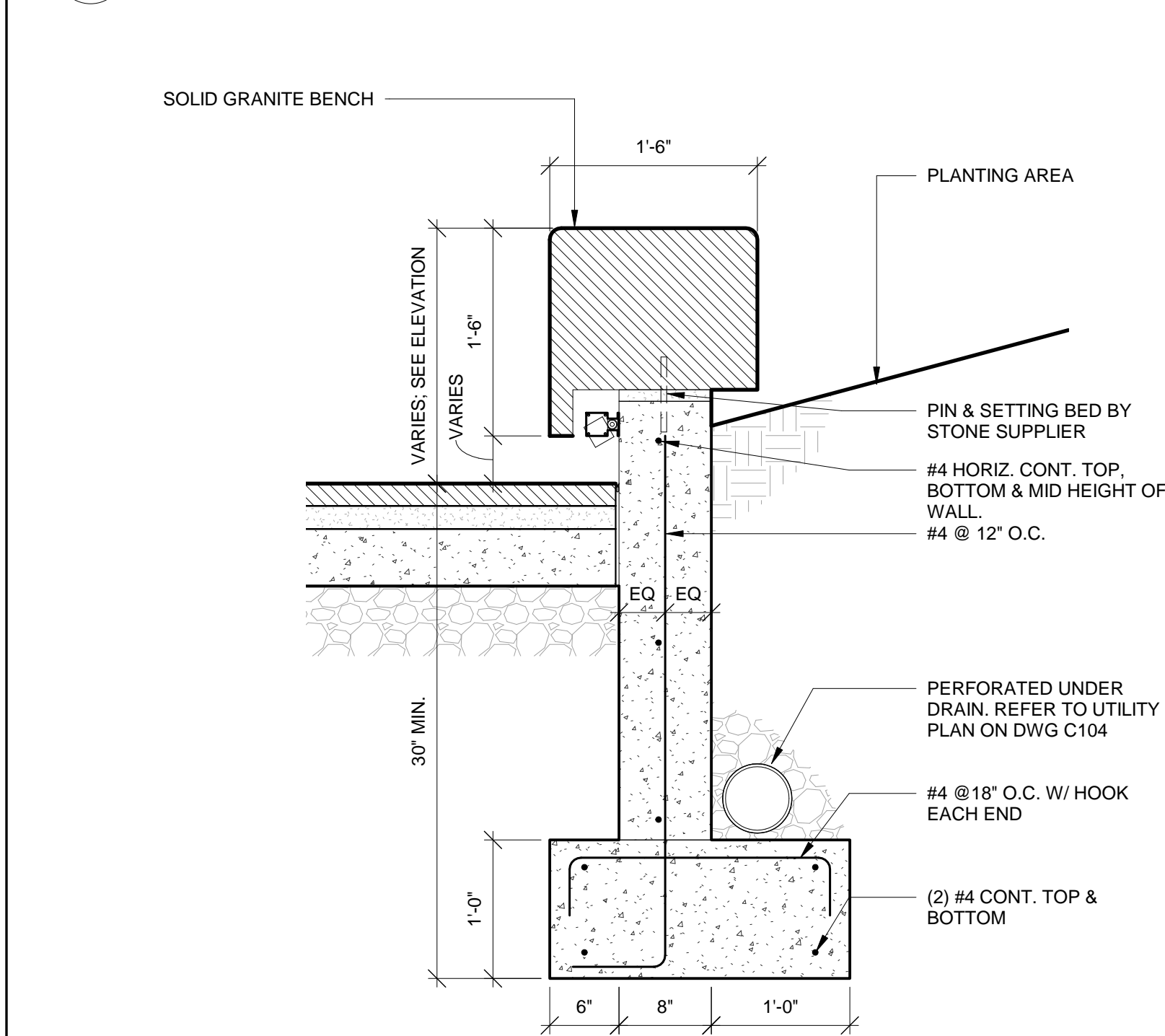
2 ELEVATION - STEPPED BENCH @ LOWER WALK
A513 $1/4" = 1'-0"$



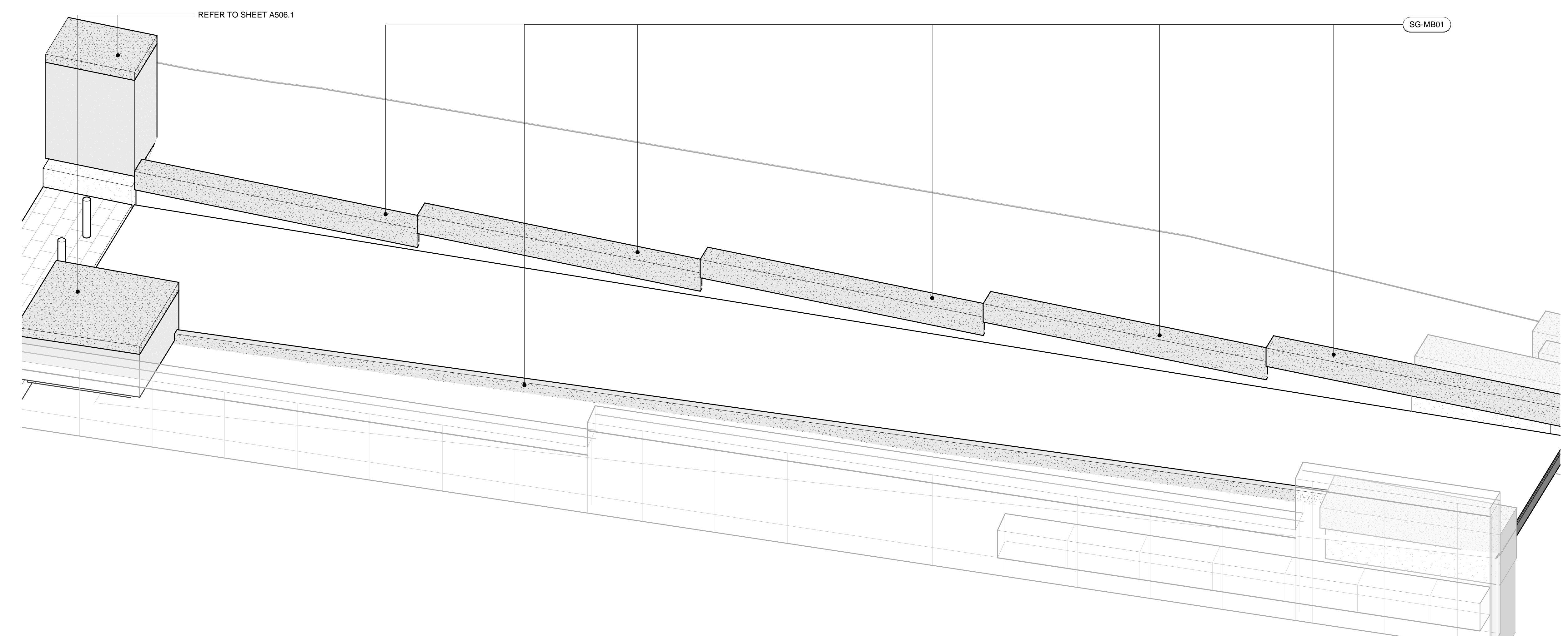
6 ELEVATION - LOWER WALK SOUTH
A513 $1/4" = 1'-0"$



4 SECTION - STEPPED BENCH @ LOWER WALK
A513 1/4" = 1'-0"



5 SECTION DETAIL - STEPPED BENCH @ LOWER WALK
A513 1" = 1'-0"



3 AXONOMETRIC - STEPPED BECH @ LOWER WALK
A513

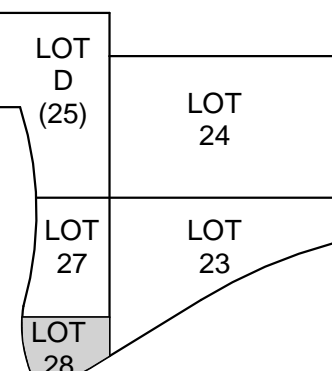
DRAWING NOTES

1. 3/8" JOINTS TYP. BETWEEN GRANITE, REFER DETAILS

MATERIAL LEGEND

SG-MB01 SOLID GRANITE ELEMENT; MESABI BLACK; FINISH: ANTIQUE

1	10/01/2021	SCHEMATIC DESIGN BP#2 - PARK & GARAGE BP#2 - APPENDUM I/2	
2	12/17/2021		
3	01/13/2022		



DRAWN BY: _____ Author: _____
 ARCHITECT: _____ MM: _____
 CHECKED BY: _____ Checker: _____



THE BANKS
Public Partnership

LOT 28 GARAGE
AND PARK

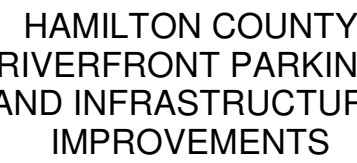
DRAWING TITLE

STEPPED BENCH @
LOWER WALK

3 NUMBER _____ DATE _____

3090.40 12/17/2021

A513



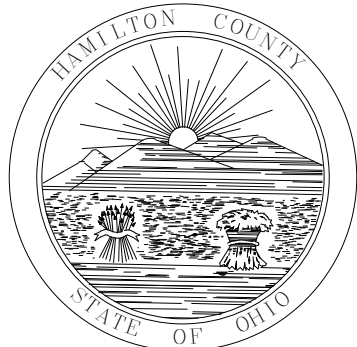
THP
THP Limited, Inc.
Consulting Engineers
100 East Eighth Street
Cincinnati, Ohio 45203
Phone: (513) 241-3222
Fax: (513) 241-2981



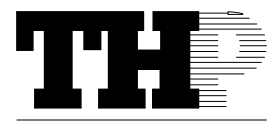
W/ - WITH
W/O - WITHOUT
W - WASTE
WS - WATER SERVICE

DRAWING NUMBER	12/17/EOL
----------------	-----------

- PLAN NOTES
1. EXISTING PIPING TO REMAIN.
 2. PIPING LOCATED BELOW GARAGE FLOOR SLAB.
 3. EXTEND PIPING 1'-0" AFF AND TEMPORALLY CAP.



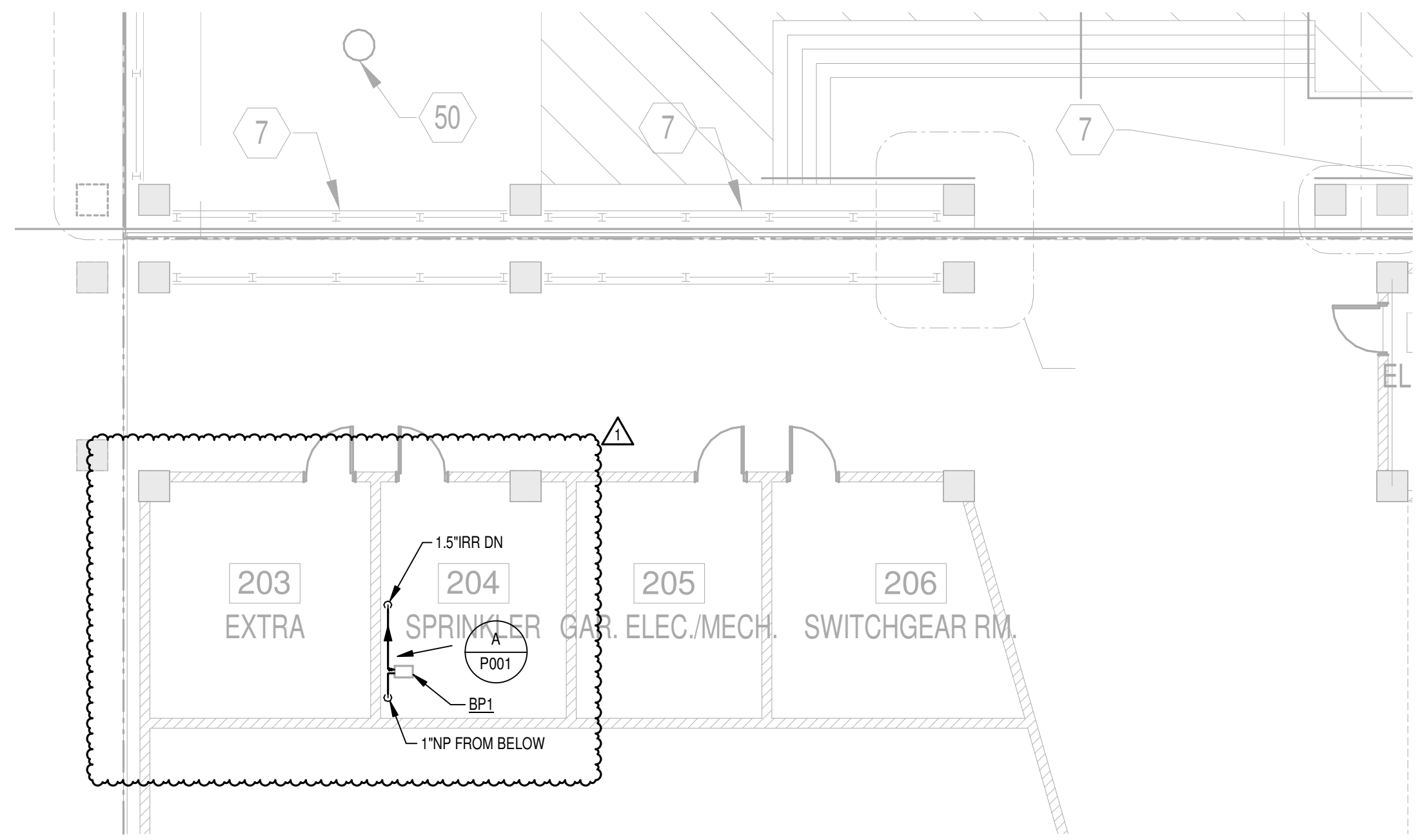
HAMILTON COUNTY
RIVERFRONT PARKING
AND INFRASTRUCTURE
IMPROVEMENTS



THP Limited, Inc.
Consulting Engineers
100 East Eighth Street
Cincinnati, Ohio 45202
Phone: (513) 241-3222
Fax: (513) 241-2981



Heapy Engineering
MEP Design Technology Planning Consulting Energy
1450 W. Cheviot Lane, Dayton, OH 45405-1311
Ph 937-224-0851 Fax 937-224-5777 www.heapy.com

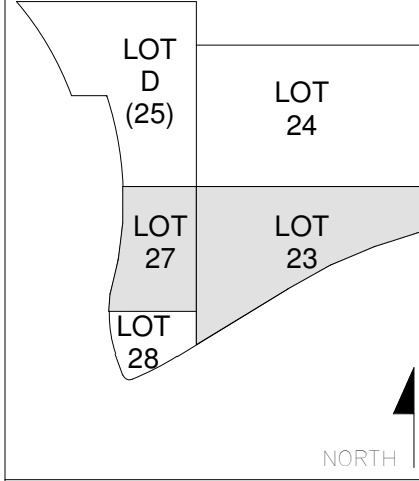


3 PARK LEVEL PLUMBING PLAN (LOT 23)
SCALE: 1/8" = 1'-0"



1 LOWER LEVEL PLUMBING PLAN
SCALE: 1/16" = 1'-0"

ISSUES
1 01/13/2022 BP#2 - ADDENDUM #2



DRAWN BY: Author
ENGINEER: Designer
CHECKED BY: Checker

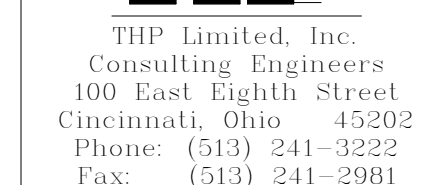
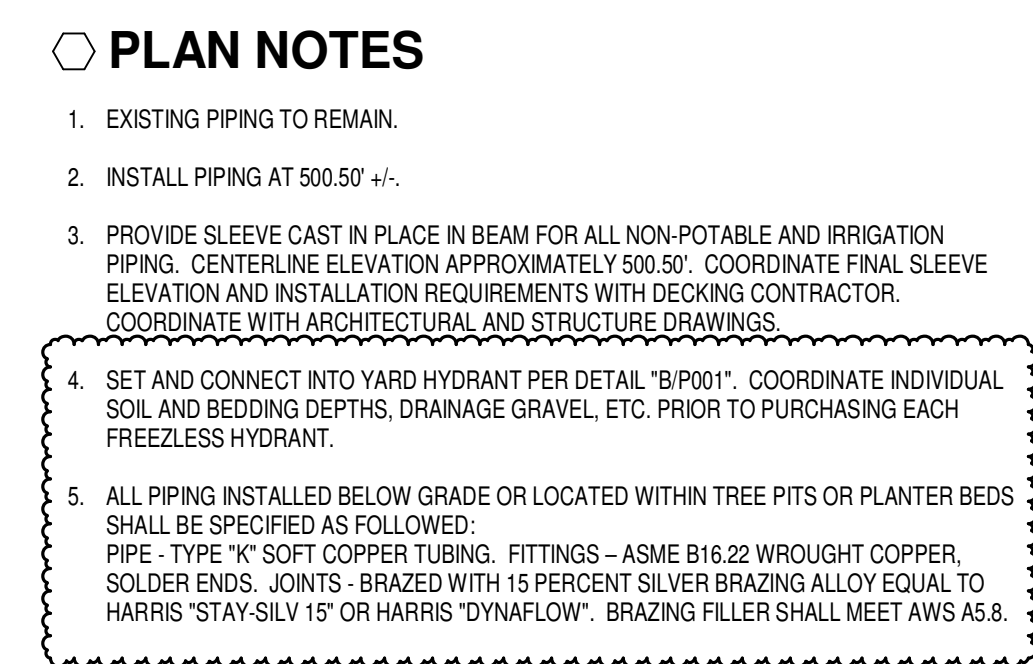


BP#2 - PARK &
GARAGE

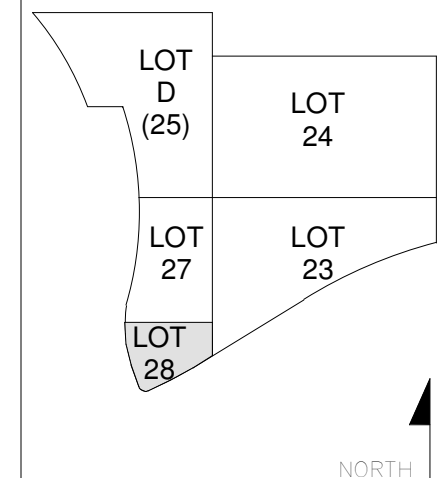
DRAWING TITLE
LOWER LEVEL PLUMBING
PLAN (LOT 27)

JOB NUMBER
98090.40 12/17/2021
DRAWING NUMBER

P101A



ISSUES		ISSUES
1	11/05/2021	BP#1 - GARAGE FOUNDATIONS AND SITE PREPARATION
2	01/13/2022	BP#2 - ADDITION #2



DRAWN BY:	KTG
ENGINEER:	DJT
CHECKED BY:	DNM



BP#2 - PARK &
GARAGE

DRAWING TITLE
LOWER LEVEL PLUMBING
PLAN

JOB NUMBER	98090.40	12/17/2021
DRAWING NUMBER		

P101

MOTORS, STARTERS, DISCONNECTS & CONTROLS

2. TURN "ON" AT DUSK. DIM TO 50% FROM 12AM TO 6AM. TURN "ON" FULL BRIGHTNESS AT 6AM. TURN "OFF" AT DAWN.

CONTROL NUMBER	TYPICAL SPACE NAME EXTERIOR LIGHTING W/ DIMMING	OCCUPANCY SENSOR		TIME CLOCK		WALL SWITCH		DAYLIGHT SENSOR		INTEGRATION POINTS		SEE NOTE	DETAIL NUMBER										
		VACANCY MODE (MANUAL ON)	OCCUPANCY MODE (AUTO ON)	SENSOR TIME OUT PERIOD (IN MINUTES)	HIGH / LOW OPERATION OCCUPIED: 100% / VACANT: 98%	SCHEDULED ON AT	SCHEDULED OFF AT	OCCUPIED TIME START	UNOCCUPIED TIME START	• AFTER HOURS OVERRIDE SWITCH (2 HOURS) ON / OFF ONLY	• DIMMER SWITCH			KEY SWITCH	SCENE SWITCH	GRAPHICAL WALL STATION	INDOOR - ON / OFF ONLY	INDOOR - DIMMING	LIGHT LEVEL MAINTAINED AT (IN FOOTCANDLES @ 2' & A.F.F.)	• EXTERIOR PHOTOCELL - ON / OFF	OCCUPANCY STATUS (BINARY INPUT - READ ONLY - OCCUPIED / UNOCCUPIED)	DIMMING OUTPUT LEVEL (ANALOG VALUE - READ / WRITE - 0-100%)	RELAY STATUS (BINARY VALUE - READ / WRITE - ON / OFF)	MEASURED LIGHT LEVEL (ANALOG INPUT - 0-2125C)
1																							

NOTES:
1. COORDINATE EQUIPMENT LOCATION WITH PC

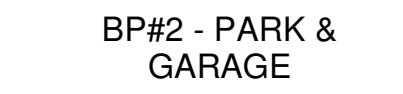
[illegible][illegible]

QUANTITY													LAMPS																										TRIM COLOR				MOUNTING				SIZE				SEE NOTE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
MARK	C1K	FLUORESCENT INCANDESCENT H.I.D.	LED	L.E.D.	WATTS / LAMP	V.A. LINEAR FOOT	CATALOG NO.	DELIVERED LUMENS	COLOR	LOAD (VA)	FIXTURE VOLTAGE	MANUFACTURER	CATALOG NO. SERIES "WL-A"	DESCRIPTION	OTHER ACCEPTABLE MANUFACTURERS	DIFFUSING MEDIA	WHITE BLACK ALUMINUM BRONZE STANDARD SEE NOTE	S	PM-20 ROUND POLE	DIA	WIDTH	LENGTH	DEPTH	SEE NOTE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				

NORTH

DRAWN BY:

- | | |
|-------------|-----|
| DRAWN BY: | JJT |
| ENGINEER: | JJT |
| CHECKED BY: | DA |



JOB NUMBER	
98090.40	12/17/2021
DRAWING NUMBER	

E002

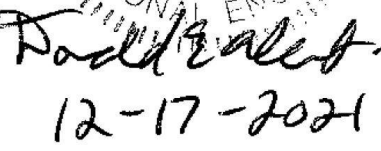
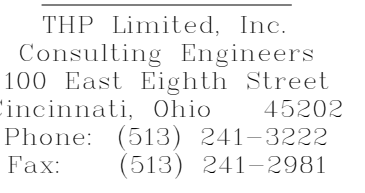
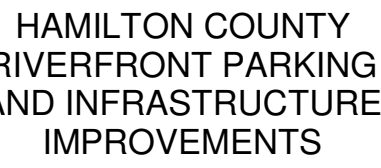
Panel: EL-23 EXISTING													
Location: LOT 23 ELECTRICAL ROOM				Mounting: Surface				A.I.C. Rating: 10,000					
Supply From: EL-24				Enclosure: Type 1				Mains Type: MB					
Voltage: 480/277 Wye-3PH-4W				1 A				Mains Rating: 125 A					
CKT	Circuit Description	Trip	Poles	A		B		C		Poles	Trip	Circuit Description	CKT
1	EXITS LOT 23	20 A	1	34 VA	29 VA					1	20 A	EX LL LOT 23	2
3	EX POD LOT 23	20 A	1			112 VA	3054...			1	20 A	EX ENTRANCE	4
5	EX LL LOT 23	20 A	1					58 VA	348 VA	1	20 A	EX LL LOT 23	6
7	EX LL LOT 23	20 A	1	1042...	902 VA					1	20 A	EX LL LOT 23	8
9	EX LL LOT 23	20 A	1			984 VA	28 VA			1	20 A	EX Lighting	10
11	EX LOT 27 EXIT	20 A	1					52 VA	2058...	1	20 A	EX ENTRANCE AREA	12
13	EX LL LOT 27	20 A	1	662 VA	1102...					1	20 A	EX LL LOT 27	14
15	EX LL LOT 27	20 A	1			1312...	756 VA			1	20 A	EX ENTRANCE	16
17	EX LOT 27 STAIRS	20 A	1					150 VA					18
19	EX LOT 23 ELEC...	20 A	1	360 VA	0 VA					1	20 A	Spare	20
21						0 VA				1	20 A	Spare	22
23	Space	--	1					--	0 VA	1	20 A	Spare	24
25	Space	--	1	--	0 VA					1	20 A	Spare	26
27	Space	--	1			--	0 VA			1	20 A	Spare	28
29	Space	--	1					--	0 VA	1	20 A	Spare	30
Total Load:				4.13 kVA		6.25 kVA		2.67 kVA					
Load Classification				Connected...		Demand Factor		Estimated...		Panel Totals			
Lighting				13042 VA		125.00%		16303 VA		Total Conn. Load: 13042 VA			
										Total Est. Demand: 16303 VA			
										Total Conn.: 16 A			
										Total Est. Demand: 20 A			
Notes: 1) "EX" IN PANEL SCHEDULE INDICATES AND EXISTING BREAKER AND BRANCH CIRCUIT SERVED.													
TOTAL CONNECTED								ESTIMATED DEMAND					
13.04 kVA								16.3 kVA (20 A)					

Panel: DP24 EXISTING													
Location: LOT 24 ELECTRICAL ROOM				Mounting: Surface				A.I.C. Rating: 10,000					
Supply From: 480/277 Wye-3PH-4W				Enclosure: Type 1				Mains Type: MB					
Voltage: 480/277 Wye-3PH-4W				1 A				Mains Rating: 200 A					
CKT	Circuit Description	Trip	Poles	A	B	C	Poles	Trip	Circuit Description	CKT			
1	EX DPAP	20 A	3	1109...	1109...		3	20 A	EX DAG2	2			
3	--	--	--		1109...	1109...		--	--	4			
5	--	--	--			1109...	1109...	--	--	6			
7	EX JP1	20 A	3	1386... 6651...	1386... 6651...		3	30 A	EX EUH-1	8			
9	--	--	--		1386... 6651...		--	--	--	10			
11	--	--	--			1386... 6651...	--	--	--	12			
13	EX EUH-3	25 A	3	4988... 4988...	4988... 4988...		3	25 A	EX EUH-2	14			
15	--	--	--		4988... 4988...		--	--	--	16			
17	--	--	--			4988... 4988...	--	--	--	18			
19	EX MOTOR	20 A	3	1109... 4610...			3	45 A	EX T10	20			
21	--	--	--		1109... 3540...		--	--	--	22			
23	--	--	--			1109... 3030...	--	--	--	24			
25	EX Spare	20 A	3	0 VA	--		1	--	Space	26			
27	--	--	--		0 VA	--	1	--	Space	28			
29	--	--	--			0 VA	--	1	--	Space			
31	EX Spare	20 A	1	0 VA	--		1	--	Space	32			
33	EX Spare	20 A	3		0 VA	--	1	--	Space	34			
35	--	--	--			0 VA	--	1	--	Space			
37	--	--	--	0 VA	--		1	--	Space	38			
39	EX Spare	20 A	1		0 VA	--	1	--	Space	40			
41	EX Spare	20 A	1			0 VA	--	1	--	Space			
Total Load:				25.95 kVA	24.88 kVA	24.37 kVA							
Notes: 1) EXISTING PANELBOARD LOCATED AT LOT 24 SHOWN FOR REFERENCE ONLY. 2) "EX" IN PANEL SCHEDULE INDICATES AND EXISTING BREAKER AND BRANCH CIRCUIT SERVED.													
TOTAL CONNECTED				ESTIMATED DEMAND									
75.2 kVA				75.84 kVA (91 A)									

Panel: R-23 EXISTING													
Location: LOT 23 ELECTRICAL ROOM				Mounting: Surface				A.I.C. Rating: 10.0					
Supply From: EP-24				Enclosure: Type I				Mains Type: MLO					
Voltage: 120/208 Wye-3PH-4W				1 A				Mains Rating: 100 A					
CKT	Circuit Description	Trip	Poles	A		B		C		Poles	Trip	Circuit Description	CKT
1	EX Resistive Heat	20 A	2	1450...	1450...					2	20 A	EX Resistive Heat	2
3	--	--	--			1450...	1450...			--	--	--	4
5	EX Resistive Heat	20 A	2					1450...	901 VA	3	20 A	EX DAC-3	6
7	--	--	--	1450...	901 VA					--	--	--	8
9	EX RECEPTACLE	20 A	1			45 VA	901 VA					--	10
11	EX FA	20 A	1					0 VA	45 VA	1	20 A	EX RECEPTACLE	12
13	EX HEAT TRACE...	20 A	1	180 VA	180 VA					1	20 A	EX ELEV SUMP	14
15	EX Receptacle	20 A	1			720 VA	180 VA			1	20 A	EX Receptacle	16
17	EX CAB LIGHTS	20 A	1					0 VA	408 VA	1	20 A	EX EF	18
19	PL6 RECEPT	20 A	1	1440...	180 VA					1	30 A	EX Power	20
21	PL6 RECEPT	20 A	1			1260...	180 VA			1	30 A	EX Power	22
23	Spare	20 A	1					0 VA	0 VA	1	20 A	Spare	24
25	Spare	20 A	1	0 VA	0 VA					1	20 A	Spare	26
27	Spare	20 A	1			0 VA	0 VA			1	20 A	Spare	28
29	Spare	20 A	1					0 VA	0 VA	1	20 A	Spare	30
Total Load:				7.23 kVA		6.19 kVA		2.80 kVA					
Load Classification				Connected...		Demand Factor		Estimated...		Panel Totals			
Lighting				2790 VA		125.00%		3488 VA		Total Conn. Load: 16220 VA			
Motor				3110 VA		121.72%		3785 VA		Total Est. Demand: 17593 VA			
Other				0 VA		0.00%		0 VA		Total Conn.: 16 A			
Power				360 VA		100.00%		360 VA		Total Est. Demand: 49 A			
Receptacle				1080 VA		100.00%		1080 VA					
Resistive Heat				8880 VA		100.00%		8880 VA					
Notes: 1) "EX" IN PANEL SCHEDULE INDICATES AND EXISTING BREAKER AND BRANCH CIRCUIT SERVED.													
TOTAL CONNECTED								ESTIMATED DEMAND					
16.22 kVA								17.59 kVA (49 A)					

Panel: RP23A EXISTING													
Location: LOT 23 ELECTRICAL ROOM				Mounting: Surface				A.I.C. Rating: 10,000					
Supply From: T10				Enclosure: Type 1				Mains Type: MB					
Voltage: 120/208 Wye-3PH-4W				1 A				Mains Rating: 100 A					
CKT	Circuit Description	Trip	Poles	A	B	C	Poles	Trip	Circuit Description	CKT			
1	EX Blue Light	20 A	1	180 VA	360 VA		1	20 A	EX Blue Light	2			
3	EX Security	20 A	1		1000...	1000...		1	20 A	EX Security	4		
5	EX Blue Light	20 A	1			180 VA	500 VA	1	20 A	EX Security	6		
7	EX Blue Light	20 A	1	360 VA	1180...			1	20 A	EX Security	8		
9	EX Power	20 A	1		180 VA	1000...		1	20 A	EX Security	10		
11	Spare	20 A	1			0 VA	1310...	2	20 A	EX CU-1	12		
13	EX Receptacle	20 A	1	180 VA	1310...			--	--		14		
15	EX PAY STATION	20 A	1		180 VA	180 VA		1	20 A	EX ELEV LOT 23	16		
17	Space	--	1			--	1040...	2	20 A	BOOSTER BP-1	18		
19	Space	--	1	--	1040...			--	--		20		
Total Load:				4.61 kVA	3.54 kVA	3.03 kVA							
Load Classification				Connected...	Demand Factor	Estimated...	Panel Totals						
Motor				4701 VA	113.50%	5335 VA	Total Conn. Load: 11181 VA						
Power				5760 VA	100.00%	5760 VA	Total Est. Demand: 11815 VA						
Receptacle				720 VA	100.00%	720 VA	Total Conn.: 31 A						
							Total Est. Demand: 33 A						
Notes: 1) "EX" IN PANEL SCHEDULE INDICATES AND EXISTING BREAKER AND BRANCH CIRCUIT SERVED.													
TOTAL CONNECTED								ESTIMATED DEMAND					
11.18 kVA								11.82 kVA (33 A)					

Panel: L-23 EXISTING													
Location: LOT 23 ELECTRICAL ROOM				Mounting: Surface				A.I.C. Rating: 10,000					
Supply From: L24				Enclosure: Type 1				Mains Type: MB					
Voltage: 480/277 Wye-3PH-4W				1 A				Mains Rating: 125 A					
CKT	Circuit Description	Trip	Poles	A		B		C		Poles	Trip	Circuit Description	CKT
1	EX LL LOT 23	20 A	1	232 VA	2628...					1	20 A	EX LL LOT 23	2
3	EX LL LOT 23	20 A	1			522 VA	50 VA			1	20 A	EX LL LOT 23	4
5	EX Lighting	20 A	1					84 VA	426 VA	1	20 A	EX STORAGE LOT 23	6
7	EX Lighting	20 A	1	84 VA	0 VA					1	20 A	Spare	8
9	EX LL LOT 27	20 A	1			638 VA	986 VA			1	20 A	EX LL LOT 27	10
11	EX UH3	20 A	3					1275...	1275...	3	20 A	EX UH2	12
13	...	...	...	1275...	1275...					...	...	...	14
15	...	...	...	1275...	1275...					...	...	...	16
17	EX UH1	20 A	3					2162...	3745...	1	20 A	Lighting	18
19	...	...	...	2162...	3381...					1	20 A	Lighting	20
21	...	...	...	...	...	2162...	3175...			1	20 A	Lighting	22
23	...	...	...	...	...	...	...	3430...	...	1	20 A	Lighting	24
25	...	...	...	...	...	...	...	...	...	1	20 A	Spare	26
27	...	...	...	...	...	...	...	...	...	1	20 A	Spare	28
29	Spare	20 A	1			0 VA		0 VA	0 VA	1	20 A	Spare	30
Total Load:				11.04 kVA		10.08 kVA		12.40 kVA		Panel Totals			
Load Classification		Connected...		Demand Factor		Estimated...		Panel Totals					
Lighting		10383 VA		125.00%		24229 VA		Total Conn. Load: 33517 VA					
Motor		14134 VA		111.47%		15755 VA		Total Est. Demand: 39983 VA					
								Total Conn.: 40 A					
								Total Est. Demand: 48 A					
Notes: 1) "EX" IN PANEL SCHEDULE INDICATES AND EXISTING BREAKER AND BRANCH CIRCUIT SERVED.													
TOTAL CONNECTED								ESTIMATED DEMAND					
33.52 kVA								39.98 kVA (48 A)					



1. PROVIDE NEW LUMENPULSE LUMEN TOUCH 2.0 (LT02) OR EQUAL. S1 AND S2 FIXTURES DMX TO BE DAISY CHAINED. PROVIDE DMX COMPATIBILITY WIRING FROM S1 AND S2 TO THE LT02. PROVIDE ALL THE COMPONENTS NECESSARY TO MAKE A COMPLETE AND OPERATIONAL SYSTEM AND INSTALLATION.

[illegible]

AWN BY: JJT

ENGINEER: _____ LIT

HECKED BY: _____



BP#2 - PARK &
GARAGE

AWING TITLE

POWER PLANS LOT 28

B NUMBER

8090.40 12/17/2021

DRAWING NUMBER

E301